

Your

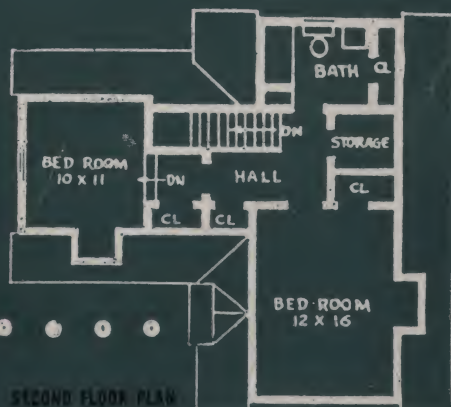
IDEAL HOME

A HOUSE FOR EVERY BUDGET

THE ONLY BOOK THAT INCLUDES
ALL THE DRAWINGS
YOU NEED FOR PLANNING YOUR HOUSE



50¢



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HOW TO BUILD YOUR IDEAL HOME

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SELECTED HOUSES.

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AUTHENTIC PUBLICATIONS, INC.

145 WEST 57th STREET

NEW YORK 19, N. Y.

Foreword

Nine out of ten Americans dream of owning their own homes. A home, in the minimum sense, is a roof overhead and a warm dry place to sleep. In the opposite extreme, it may mean marble floors, gold-plated faucets, and "seeing-eye" doors. But somewhere between these two is the home of the average American family, reflecting in its appearance the stability and personality of the owners—a symbol of their security.

The joys of building a new home—**your** new home—are many, and few experiences are more exciting or more satisfying. At the same time, your joy and satisfaction will be increased if you know how to get the most value from your "building dollar". To accomplish this, you must make correct decisions in choosing a lot, establishing a budget, selecting a plan and employing a builder.

This book has been prepared to aid you in making these decisions. In it you can study a large variety of house designs, together with plans and elevations. On pages 16-18, you will find invaluable information that will serve as a guide in developing your building program and in estimating the cost of your proposed house. There are, altogether, forty-two houses from which you may choose, with a picture of the completed house shown in each case. These houses are worked out in dimensioned plans, exact in every detail—all ready to be built.

In purchasing this book, you have bought a preview of the complete working drawings, and specifications needed to build any of the houses illustrated. No two designs are alike, each having been adapted to a different taste and budget.

A complete set of plans is available for fifteen dollars a set, and includes:

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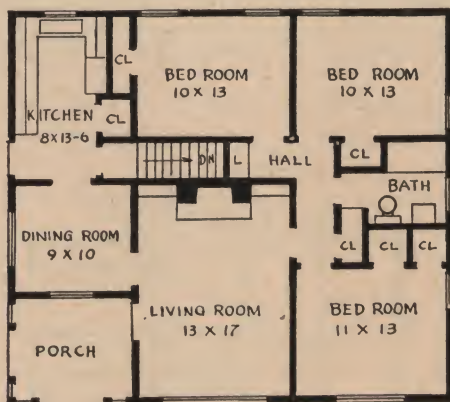
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Each individual house design has been given a number and name for convenience in ordering.

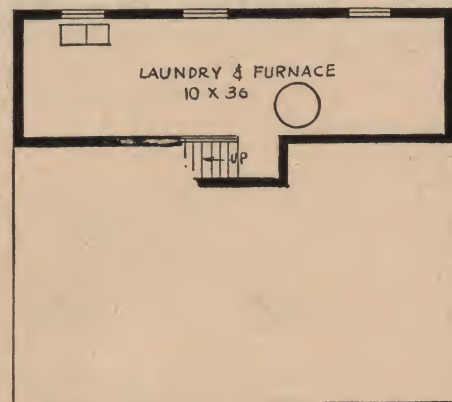
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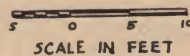
206 SOUTHWESTERN—16,300 cubic feet including living room, dining room, 3 bedrooms, bathroom, porch, kitchen, closets and basement* (which has a laundry and furnace).



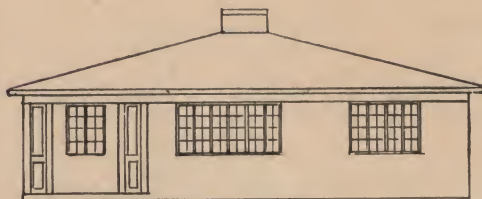
FIRST FLOOR PLAN



BASMENT PLAN



SCALE IN FEET



FRONT ELEVATION



SECTION THRU
DINING ROOM, LIVING ROOM
AND BED ROOM

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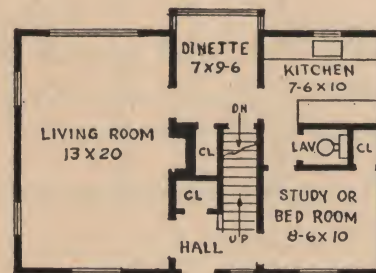
For cost of house see page 17



201 NORMANDY—14,000 cubic feet including living room, study-dining room, 2 bedrooms, bathroom, kitchen and closets.



FRONT ELEVATION



FIRST FLOOR PLAN

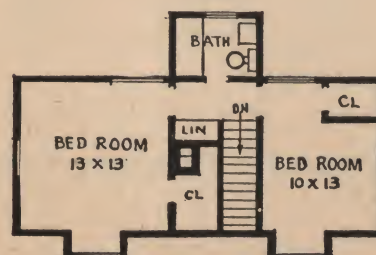
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5 0 5 10
SCALE IN FEET

For cost of house see page 17



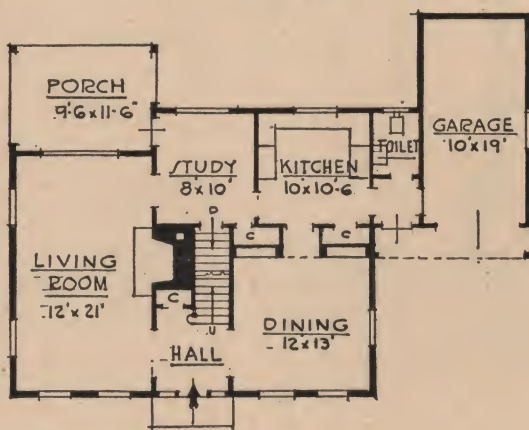
SECTION THRU BED ROOM
AND LIVING ROOM



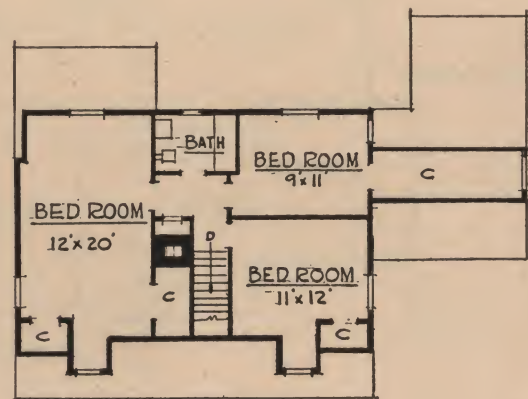
SECOND FLOOR PLAN



145 HESTER—17,800 cubic feet including living room, study, dining room, 3 bedrooms, bathroom, hall, porch, kitchen, closets, cellar and garage.



FIRST FLOOR

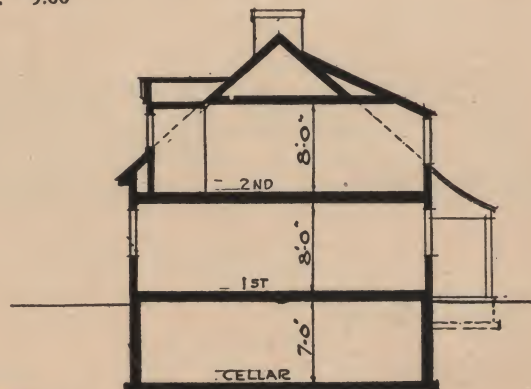
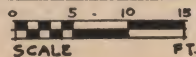


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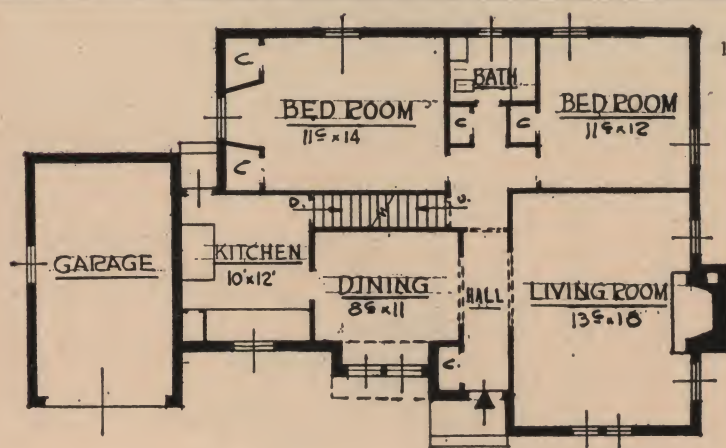


ELEVATION



SECTION

For cost of house see page 17



FIRST FLOOR

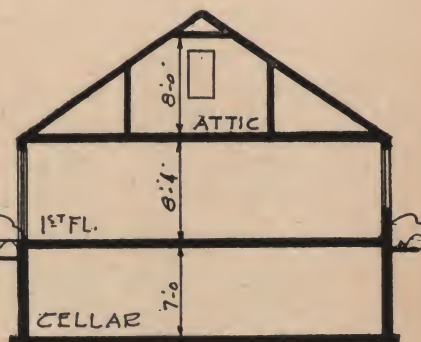
114 SUSSEX—18,000 cubic feet including living room, dining room, 2 bedrooms, bathroom, hall, kitchen, closets, attic, cellar and garage.

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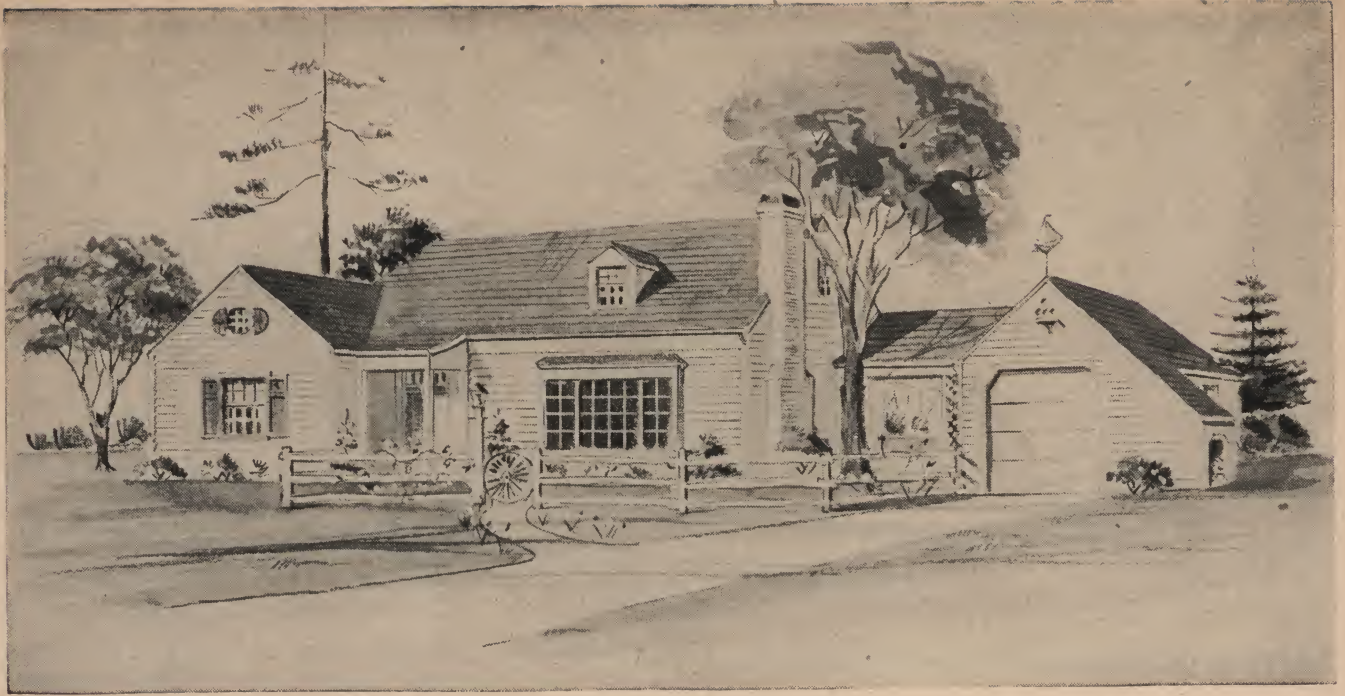
ELEVATION

0 5 10 15
SCALE FT.

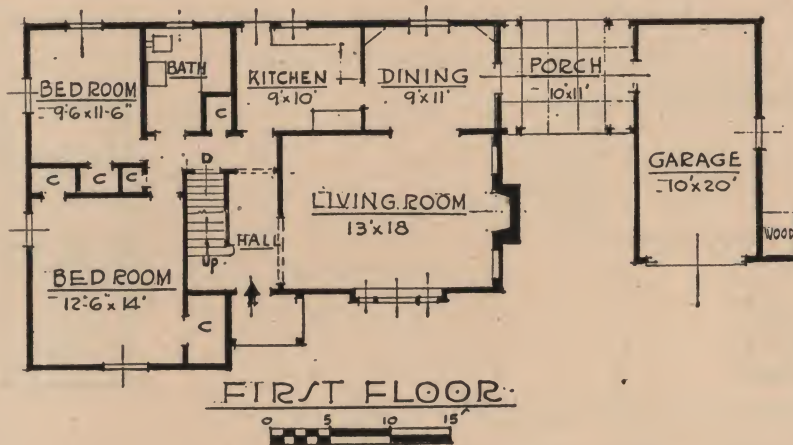


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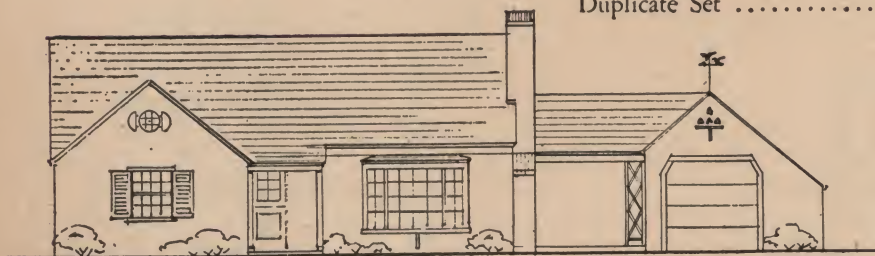
For cost of house see page 17



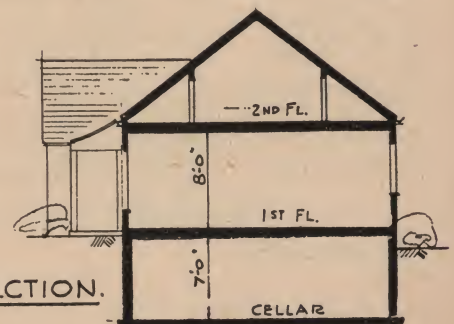
142 NANTUCKET—24,768 cubic feet including living room, dining room, 2 bedrooms, bathroom, hall, porch, kitchen, closets, cellar, woodshed and garage.



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ELEVATION.



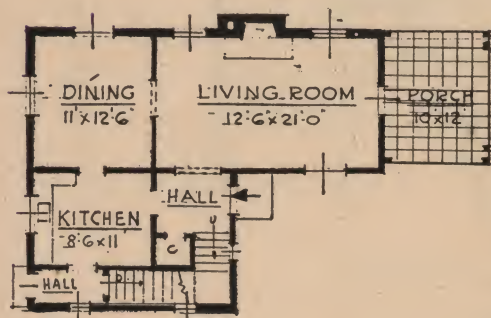
SECTION.

For cost of house see page 17

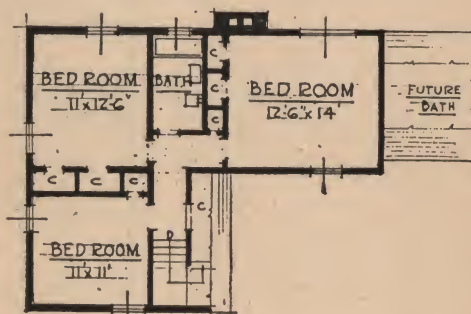


119 NEWTON—16,972 cubic feet including living room, dining room, 3 bedrooms, bathroom, hall, porch, kitchen, closets, attic and cellar.

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Duplicate Set 5.00



FIRST FLOOR



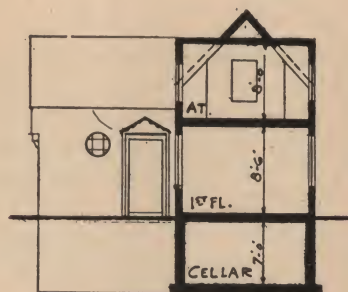
SECOND FLOOR



ELEVATION



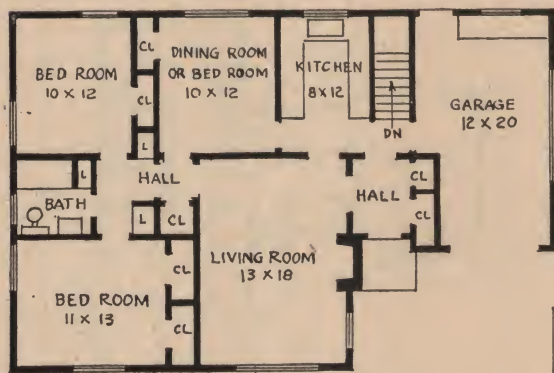
For cost of house see page 17



SECTION



204 COLONIAL COTTAGE—19,400 cubic feet including living room, dining room, 2 bedrooms, bathroom, hall, kitchen, closets, basement and garage.



FLOOR PLAN



BASEMENT PLAN

SCALE IN FEET
5 0 5 10

Complete working plans

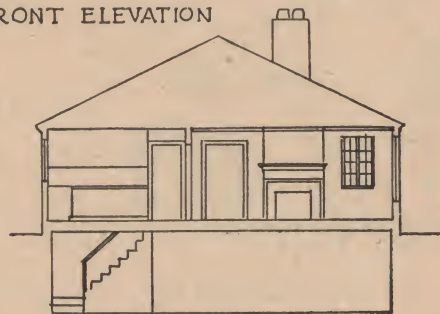
(with specifications incorporated) \$15.00

Duplicate Set 5.00

For cost of house see page 17



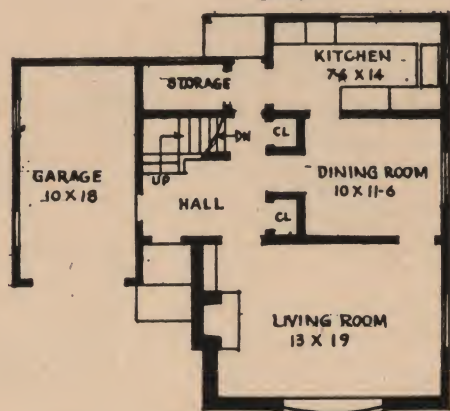
FRONT ELEVATION



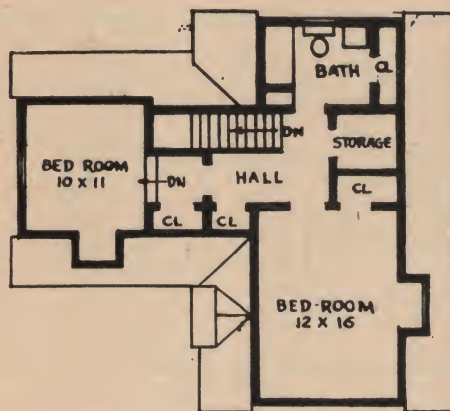
SECTION THRU KITCHEN
AND LIVING ROOM



208 NEW COLONIAL—15,800 cubic feet including living room, study, dining room, 2 bedrooms, bathroom, hall, kitchen, closets and garage.



FIRST FLOOR PLAN

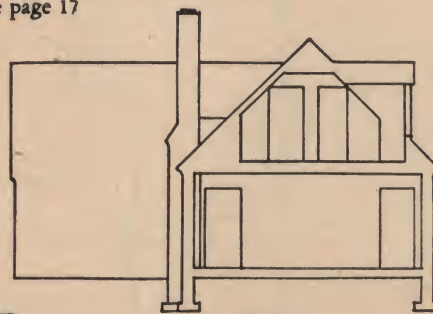


SECOND FLOOR PLAN

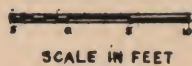
For cost of house see page 17



FRONT ELEVATION



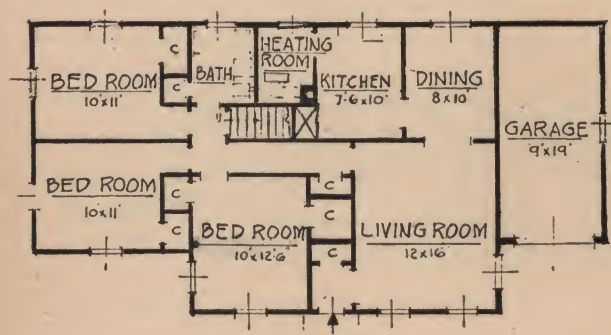
SECTION THRU
LIVING ROOM AND BED ROOM



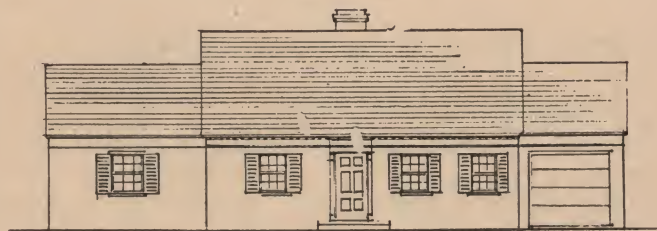
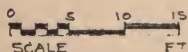
Complete working plans (with specifications incorporated) \$15.00 Duplicate Set 5.00



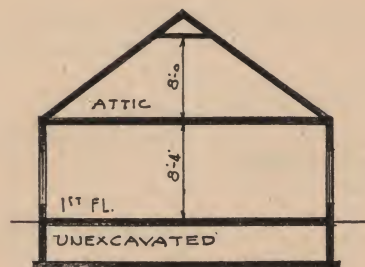
143 CAMBRIDGE—16,548 cubic feet including living room, 3 bed-rooms, bathroom, kitchen, closets, heating room, attic and garage.



FIRST FLOOR



FRONT ELEVATION.



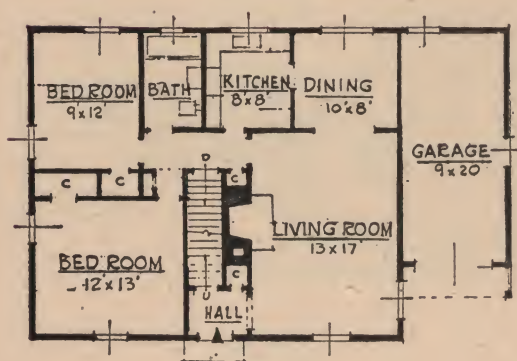
SECTION.

For cost of house see page 17

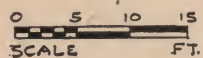
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Duplicate Set	5.00



149 COLUMBUS—21,404 cubic feet including living room, dining room, 2 bedrooms, bathroom, kitchen, closets, attic, cellar and garage.

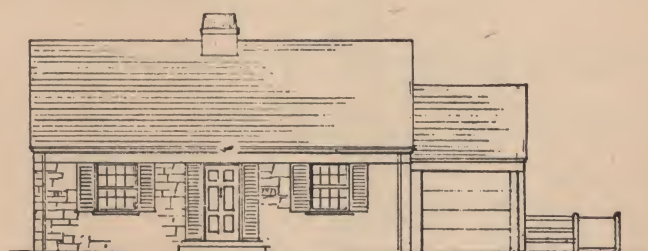


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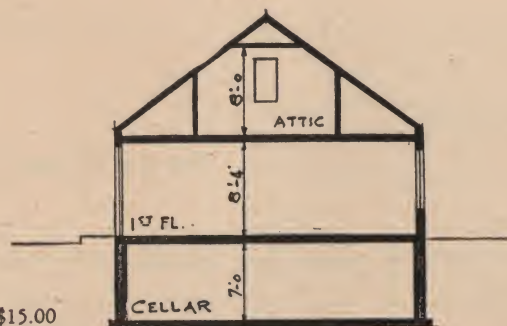


For cost of house see page 17

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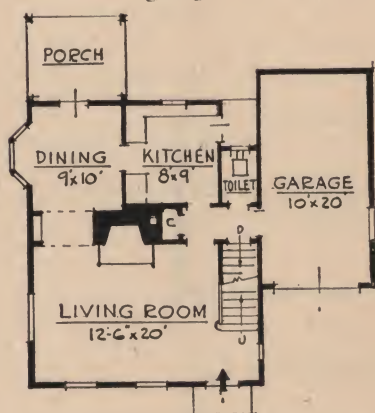
FRONT ELEVATION



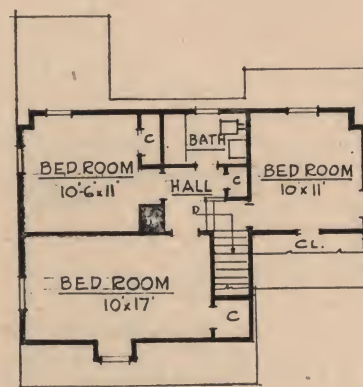
SECTION



130 BAYSIDE—16,000 cubic feet including living room, dining room, 3 bedrooms, bathroom, hall, porch, kitchen, closets, cellar and garage.



FIRST FLOOR

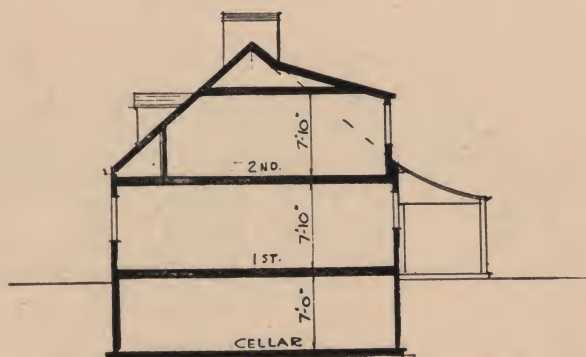
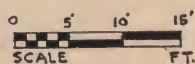


SECOND FLOOR

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ELEVATION

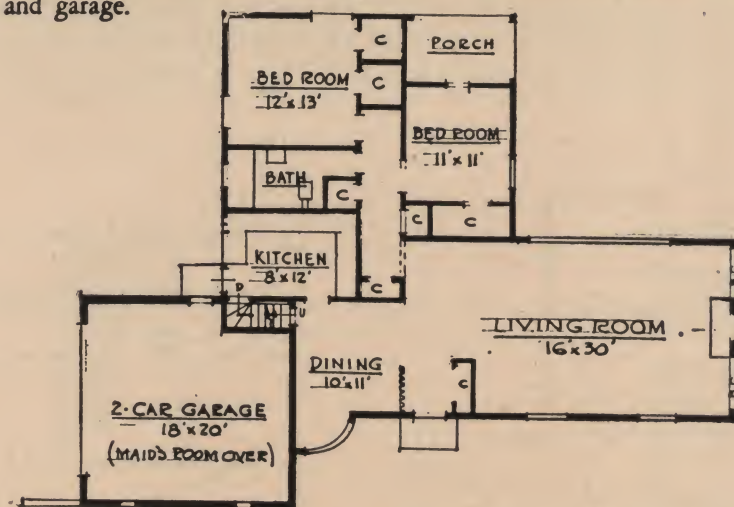


SECTION

For cost of house see page 17



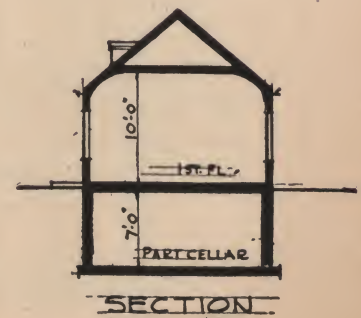
144 HAMILTON—28,000 cubic feet including living room, dining room, 2 bedrooms, maid's room, bathroom, porch, kitchen, closets, cellar and garage.



FIRST FLOOR.

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For cost of house see page 17





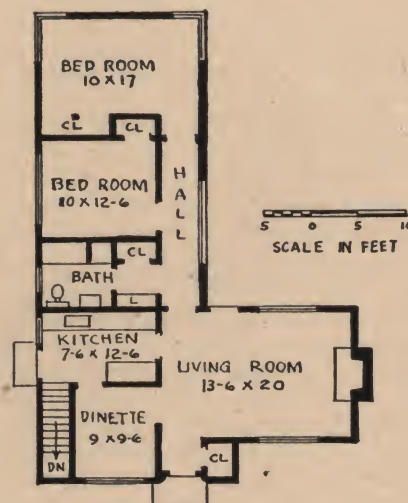
212 CALIFORNIA COTTAGE

17,800 cubic feet including living room,
dining room, 2 bedrooms, bathroom, hall,
kitchen, closets and basement.

For cost of house see page 17



BASEMENT PLAN



FLOOR PLAN



SECTION THRU
LIVING ROOM



FRONT ELEVATION

Complete working plans (with specifications incorporated) \$15.00
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YOUR BUILDING PROGRAM

Four ingredients are needed for your successful home-building program: (1) a desirable *lot*, (2) an honest *budget*, (3) a sound, economical *plan*, and (4) a reputable *builder*.

Since homebuilding is a once-in-a-lifetime proposition, it is important in planning to know beforehand *exactly* what you want in the number of rooms, conveniences and design, and to adjust your desires to your pocketbook. Think of your house as a long-term investment that will span good times and bad, and do not extend yourself financially. The what-you-can-get side of the picture can be arrived at only through the process of studying plans and designs and selecting from these the way your home should look.

Indications at the present time point to the fact that post-war building will be one-quarter to one-third higher than prewar construction prices. In other words, the house that cost \$6000 in 1938 will cost \$8000 to \$10000 to build now. More than ever before sound economical planning is needed to eliminate waste and offset this rise in cost if you are to get value for your money.

To further complicate matters, changes in house marketing methods present prospective home owners with new problems. Prospective homeowners can now buy *prefabricated homes* by walking into a department store or dealer and ordering a complete house for delivery just as they would purchase an automobile. These houses will be about the size and shape of a boxcar, with the possibility of getting larger plans by assembling two or more units. There will also be the choice of *factory-built site-assembled houses* which you may select from a catalogue and have assembled on your lot. Another choice will be the *development house*, planned and built like a ready-made suit. All you have to do is move your furniture into the house and switch on the oil burner. These methods of home marketing have been developed to reduce cost, but they rob the individual home owner of the great thrill of creating his own home. In building your own home you get a house suited to your needs instead of fitting your habits and tastes to an existing house — and besides, you can see and have control over the materials that go into your home.

YOUR LOT:

Of equal importance with the plan is the selection of the right piece of land to place your house on. Considerations in the selection of a lot may be divided roughly into two groups: the natural or physical features will determine the plan and elevation of your house; the community features will affect your everyday living.

Selecting a lot and a community is a personal matter. It may be that a view is more important

than accessibility to stores and bus service. Consider what characteristics will make life most pleasant to you and look for those. In your search, do not overlook fire and police protection, snow removal, garbage collection, street lighting, paved streets, storm sewers, and transportation. Is the neighborhood a good one for children to grow up in and are stores, churches and housekeeping help available? Is the lot improved with the utilities of electricity, water, gas, sewers, and telephone?

Legal questions arise in the purchase of land, and much doubt can be removed by having the title searched. The title search will uncover any liens or assessments, rights of way, covenants, or any restrictions limiting the size and value of your house.

Investigate these important angles:

Neighborhood: Is the neighborhood on the way up or on the way down?

Natural Features: Does your lot have good natural drainage? Visit the lot after a heavy rainstorm to see the effects. Think of the cellar and the possible wet spots on your lawn and a muddy driveway. Is there rock to excavate?

Orientation: Does your lot allow you to place your house so that you get sun where you want it? If you are sold on a definite house plan, make sure it fits the lot before you purchase it. The plan should fit the lot, and not the other way round.

YOUR BUILDING BUDGET:

What can you afford? Do not let your dream house place you in the dilemma of wishful thinking, but put down in black and white the *total cost* of your home-building operation, because this will determine the actual size of your plan and save you time and disappointment. Every day references are being made to a \$6000 house or an \$8000 house. This is a vague overall quotation. There should be no such reference without a tabulation of what is included in the price. In California the house may have no heating system, storm sash, or weatherstripping. For instance, does the price of your house include venetian blinds, storm sash, refrigerator, range, landscaping, etc.? These are the *facts* you must face in preparing your building budget.

If possible, a small amount should be set aside for building extras. No one ever built a house without some small variation in cost — the difference, for instance, between the choice of two building materials, a more expensive wallpaper, or a change in plan. Changes in plan should be avoided, since they usually cost more in time and money than they are worth.

THE COST OF YOUR HOUSE:

The cost of your house in the final analysis depends on the contractor building the house and the condition of the labor and material markets. Since the price of labor and materials vary throughout the country it is impossible to give all inclusive house costs. Construction estimates are based mainly on two methods. One is the material and labor breakdown in which every single item, including pounds of nails, and every hour of labor are computed to give an accurate forecast of the house cost. It is on such a computation that the careful builder bases his costs. The other method of obtaining cost estimates is by the cubic foot unit. This is a rule-of-thumb method of quickly obtaining costs by figuring the number of cubic feet in a house and multiplying it by a cost-per-cubic foot arrived at from experience with similar construction. For example, if there are 20000 cubic feet contained in **your house at a price** of \$.40 a cubic foot your house would be estimated to cost \$8000. However, care must be used in the selection of a cubic foot cost as construction costs vary throughout the country. Building costs are determined by cost of materials, cost of labor and quality of finish. Prewar prices for average residential construction varied from \$.25 to \$.45 a cubic foot. At the present time house building prices are higher and will probably range from \$.40 to \$.80 for similar construction. Both the manner of obtaining the house cubage and of determining what cubic-foot price to use depend on much building experience and should be left by the house planner to the professional architect or builder.

YOUR PLAN:

In planning your home, an architect is a good investment, and should be able to save his fee by producing an attractive, resalable house and by giving lasting satisfaction in good construction. But whether you use an architect or not, the most important question is what kind of plan will best suit your family, your plot, and your pocketbook. To achieve this goal, a basic list of requirements must be made which will determine the size and type of your house.

BASIC REQUIREMENTS

Living and Dining: Can these be combined in a single space or is a separate dining-room required? (The trend is away from separate dining areas to combined areas, because they are used only two or three times a day.) Will you include fireplace, bookshelves, corner cupboards, built-in dining alcove?

Kitchen: Can this be combined with laundry and heater room? (The modern trend is to include all of these functions in one larger area.) What equipment will you include: range, refrigerator, electric garbage disposal, deep freeze unit, ironing machine, washing machine, dishwasher, dryer?

Bedrooms: For single or double beds? Will you include built-in bunks and dressers? Will you include

separate guest room or provide space in living area? may not be necessary.)

Basement: Heater room and recreation room. What kind of heating equipment will you use — circulated warm air, hot water, or steam? What kind of fuel will you use — coal, oil, or gas?

Garage: Will you include space for storage, workbench, and tools?

Porch: Will you include a screened and paved porch?

Storage: Will you include hall coat closet, linen closet, broom closet, cedar closet? (Storage space becomes doubly important in houses built without basements and also in modern flat-roofed houses without attics.)

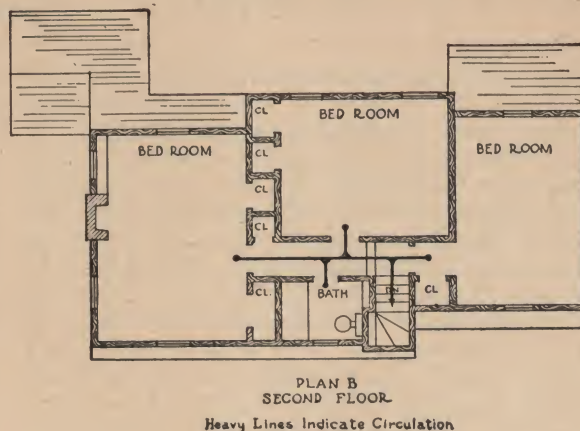
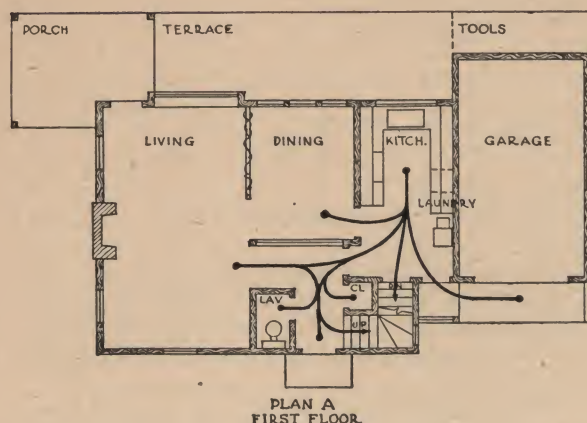
Keep comparing your plan to the plans of houses you visit, measure them and make notes, so that you do not go haywire in planning your own rooms too large or too small. Make a list of the approximate sizes of rooms to guide your architect or builder.

Plan a simple oblong or nearly square house. They are more economical to build because there is less labor and material waste in cutting and fitting complicated corners. Compact houses are cheaper and easier to heat than rambling houses. Plumbing lines should be grouped; that is, the second floor bath should be directly over or near the first floor kitchen or lavatory. Plan adequate closet space, for small houses get cluttered up more quickly than large ones. Closets should have a minimum depth of twenty inches for hanger clearance. The space above the hanging pole is usually lost space, so plan a cupboard for the storage of blankets, etc., with doors opening out into the room. Allow adequate wall space in rooms to take care of beds and furniture.

CIRCULATION

Plan good circulation. One of the more fundamental principles in planning is circulation. Look at your plan to see if you must track through the living room from the kitchen to answer the front doorbell. Carrying bundles from the grocer, can you get from the garage door to the kitchen easily? Draw the path of circulation on your plan to diagnose beforehand if you are going to spend your life wasting steps.

To the average housewife the kitchen is the most important room and the hub from which all household activities radiate. The days of carrying heavy baskets of wet laundry up steep cellar steps are gone. Modern scientific appliances save labor by placing all the mechanical units of a modern laundry in a small space in or near the kitchen. In laying out the plan the relation of the rooms to the kitchen should be considered carefully. In the accompanying plans (A and B) the steps to various spaces are indicated by a broken line to show the importance of the paths of household travel. In your plan how many steps are there from the kitchen to the front door? the lavatory? the cellar stair? the laundry? the garage door and the bedrooms? A well planned house can eliminate much end-of-day fatigue due to unnecessary walking. (See page 18)



YOUR CONTRACTOR:

The best plan in the world can go wrong in the hands of a poor builder. Picking a reputable contractor is extremely important. Do not take chances, play favorites, or gamble. With a desirable lot, a sound budget, and a good plan, your whole building program is at the mercy of a contractor.

Houses are built under many forms of contract. Those most generally in use are the competitive bid type, the cost plus a fixed fee type, and the direct owner-subcontractor type.

An architect usually uses the competitive bid method to obtain the best price for his client. When more than one bid is taken on a set of plans, the home builder is more likely to obtain a fair estimate. Some contractors only do work on the cost plus a fixed fee basis. Under this system the owner pays all the bills for labor and materials and pays the contractor a stipulated sum or a percentage of the total. Both of these systems have their advantages and disadvantages. Under the cost-plus system the contractor's risk is removed and a first-class job can be accomplished. More time may be consumed and the price is not accurately known until the end of the job. Under the competitive system, the contractor may be induced to cut corners on a low bid, but he is also anxious to "get in" and "get out" in good time to save himself money. The direct owner-subcontractor relationship is not advised unless the prospective home builder is qualified to take the risk. Under this system the home builder enters into contracts with individual masons, carpenters, plumbers, etc. The chances for the average person to go wrong are so many and various that it is foolhardy to undertake the responsibility.

HOW TO BORROW FOR BUILDING:

To qualify for a loan from any lending institution there are three requirements to be complied with besides your financial fitness.

The first step is to apply to your local bank, savings and loan society or insurance company. The three items required of you are; (1) a description

giving the location of your lot and a proof of ownership, (2) a set of building plans with materials clearly designated, and (3) a bonafide contract-estimate from your builder on how much the house will cost. You are then ready for F.H.A. approval. In the case of private lending institutions they examine and make their own approval. A fee is required when the plans are submitted to the F.H.A. and if the loan is granted the fee is applied to the owner's account. Veterans will have special applications.

The F.H.A. or Federal Housing Authority does not lend money direct but guarantees the money the bank loans you. In doing this the F.H.A. wants proof that your lot is a good investment, and that your house is well planned and well built. To enforce their standards appraisals are made and supervision given to the project.

The interest you will pay on your mortgage loan varies, as lending institutions base their rates on different factors. In a general case where you borrow at an interest rate of $4\frac{1}{2}\%$ on a twenty year amortized loan you will pay back \$6.33 a month for each thousand dollars you borrow. If, for example, you borrow \$5000 then your monthly payments will be five times \$6.33 or \$31.65. To this the bank will add the monthly charge of your taxes and whatever insurance you place on your house.

In construction loans the contractor is paid in partial payments after he has completed certain percentages of the house. Some lending institutions make a special charge for new house loans to cover their risk and service. Be sure you understand all of the conditions and payments before you make a final commitment. Your local bank will supply you with a table of loans and payments according to their interest rates, from which you can determine how much to borrow according to your own financial budget. If you have been an apartment dweller don't forget to add the cost of heating the house into your monthly budget and also, gas, water and garbage disposal charges, because as soon as you move into your new home you are strictly on your own.

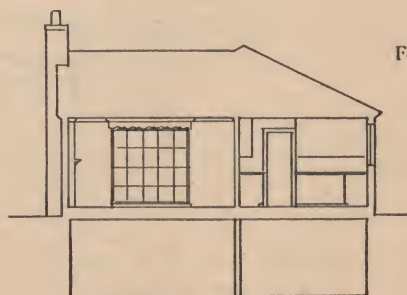


202 GEORGIAN—18,000 cubic feet including living room, dining room, 2 bedrooms, bathroom, hall, kitchen, and closets.



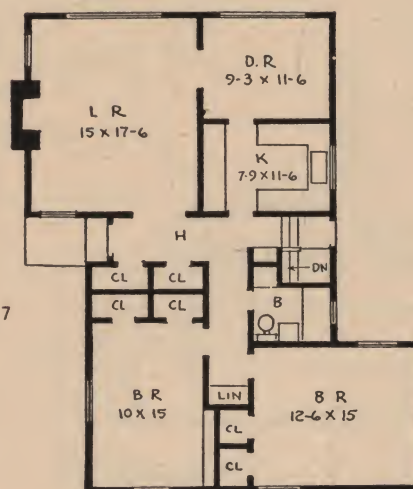
FRONT ELEVATION

Complete working plans (with specifications incorporated) \$15.00
Duplicate Set 5.00

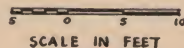


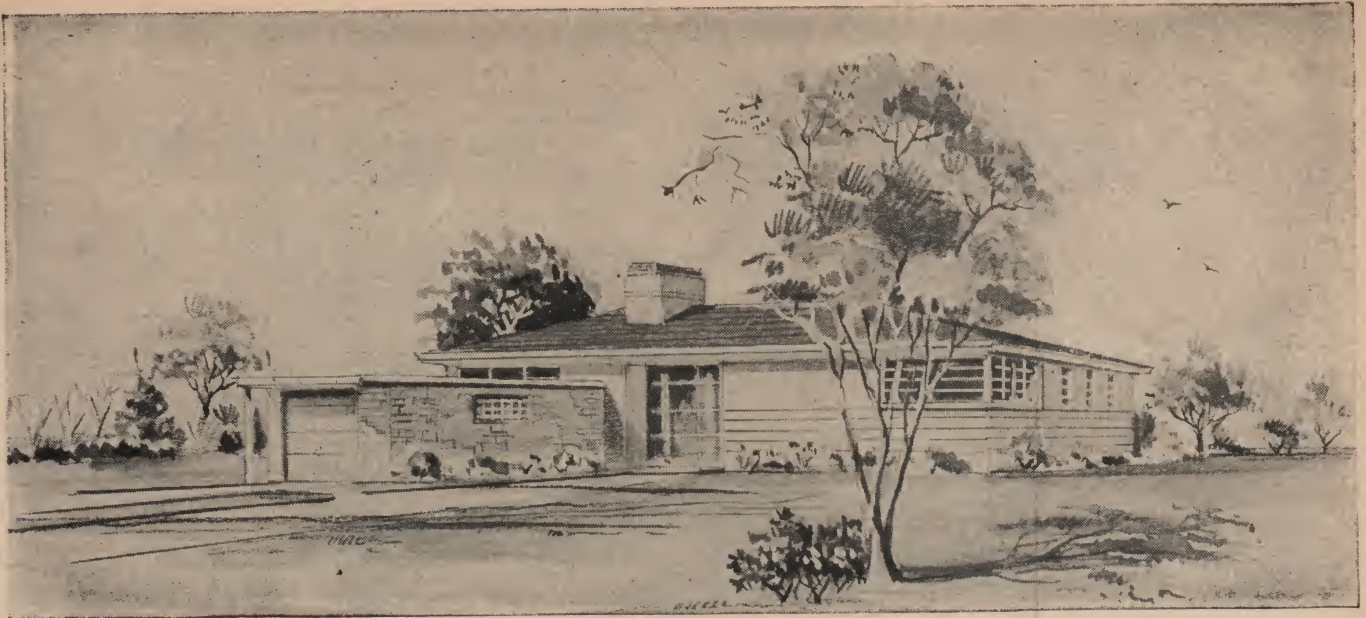
SECTION THRU LR & K

For cost of house see page 17

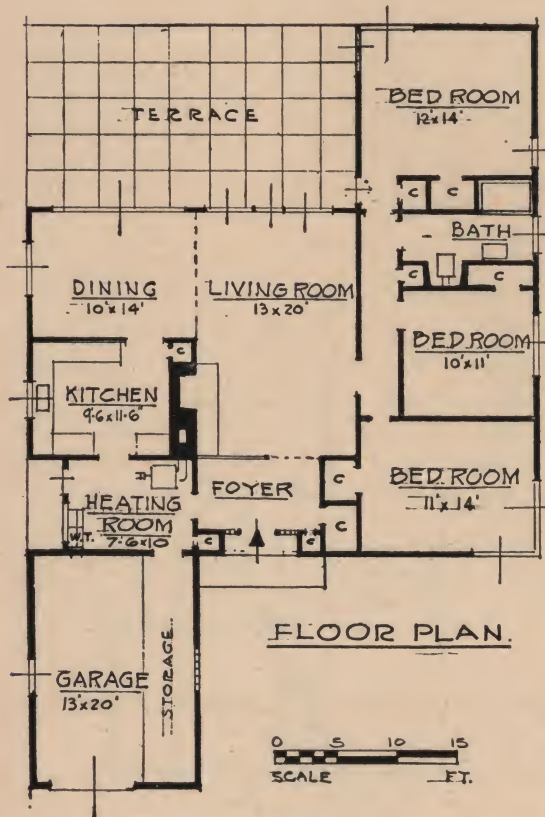


FLOOR PLAN

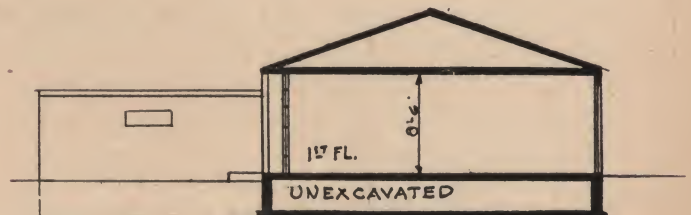




122 BROCKTON—21,334 cubic feet including living room, dining room, 3 bedrooms, bathroom, foyer, terrace, heating room, kitchen, closets and garage.



FRONT ELEVATION



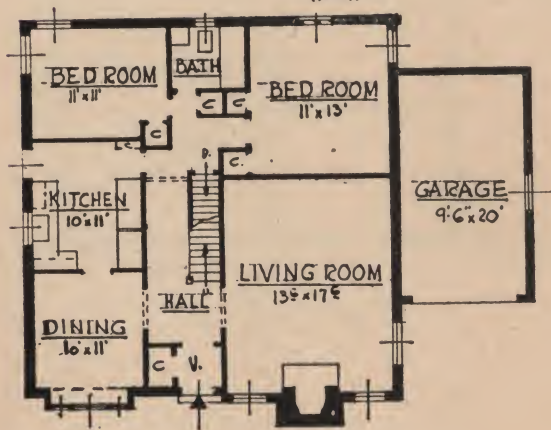
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Complete working plans (with specifications incorporated) \$15.00
Duplicate Set 5.00

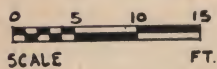
For cost of house see page 17



106 BEDFORD—17,500 cubic feet including living room, dining room, 2 bedrooms, bathroom, hall, kitchen, closets, attic, cellar and garage.



FIRST FLOOR.

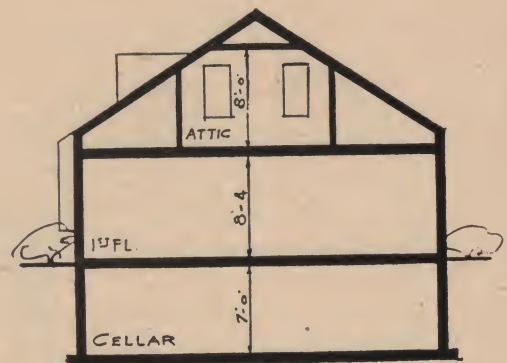


Complete working plans (with specifications incorporated) \$15.00
 Duplicate Set 5.00

For cost of house see page 17



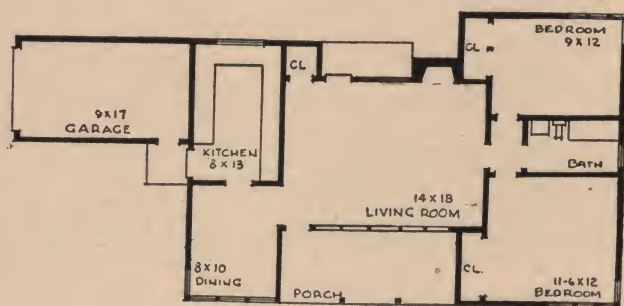
ELEVATION.



SECTION.



215 HAVANA—17,600 cubic feet including living room, dining room, 2 bedrooms, bathroom, porch, kitchen, closets and garage.



Complete working plans (with specifications incorporated) \$15.00
Duplicate Set 5.00

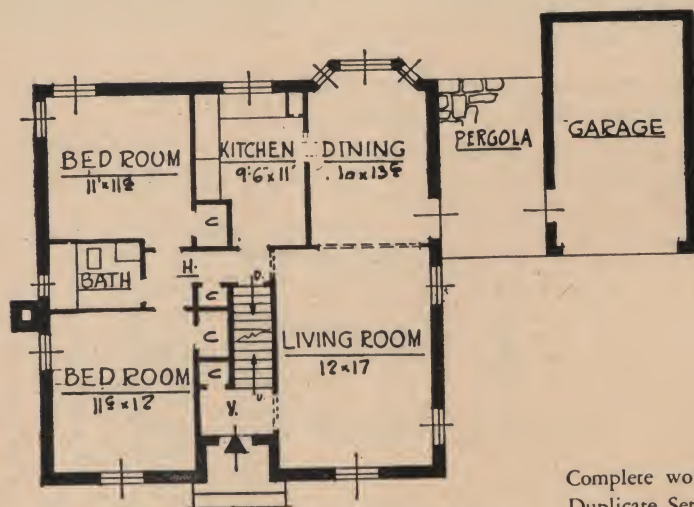
For cost of house see page 17

FLOOR PLAN

5 0 5 10
SCALE IN FEET



REAR ELEVATION



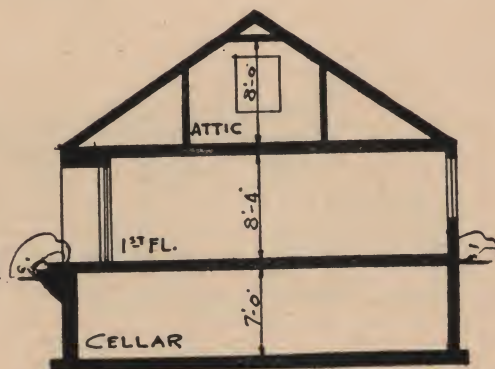
FIRST FLOOR

103 FAIRHAVEN—17,000 cubic feet including living room, dining room, 2 bedrooms, bathroom, hall, foyer, pergola, kitchen, closets, attic, cellar and garage.

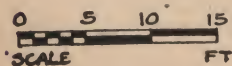
Complete working plans (with specifications incorporated) \$15.00
Duplicate Set 5.00



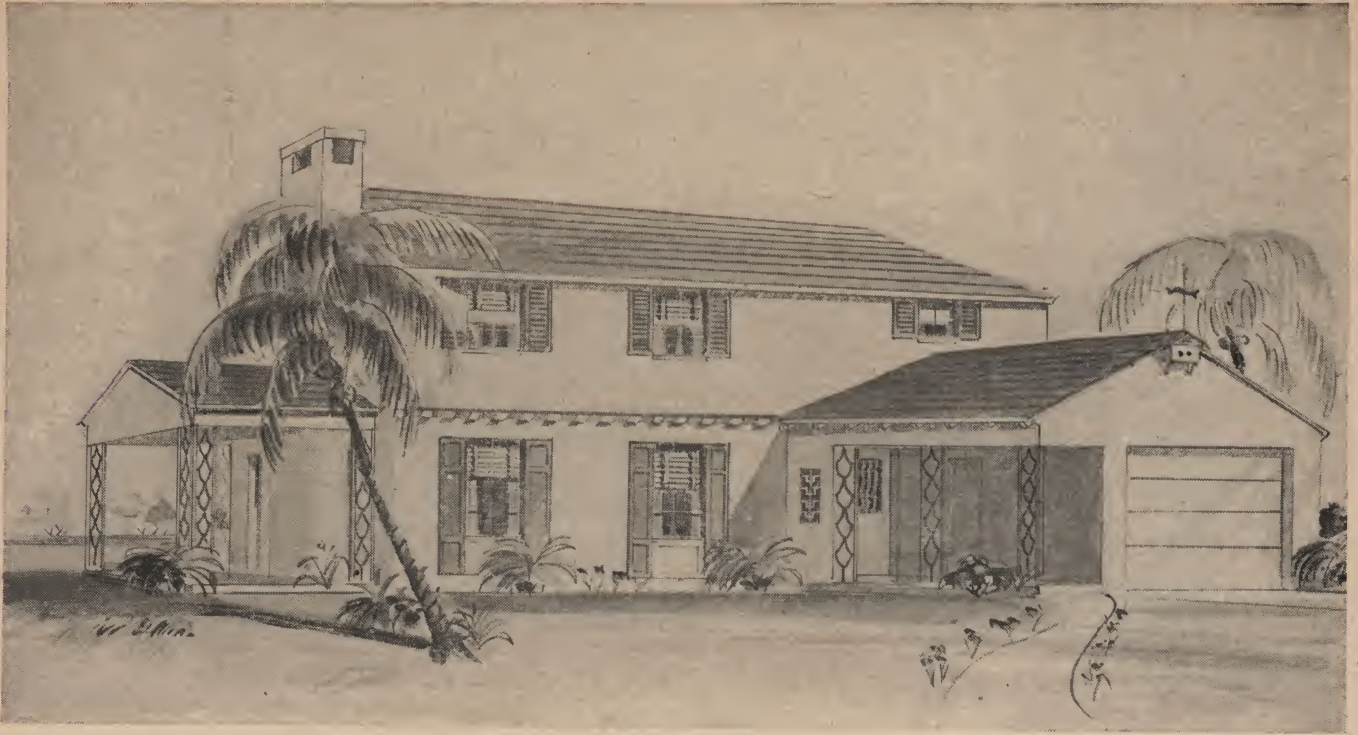
ELEVATION



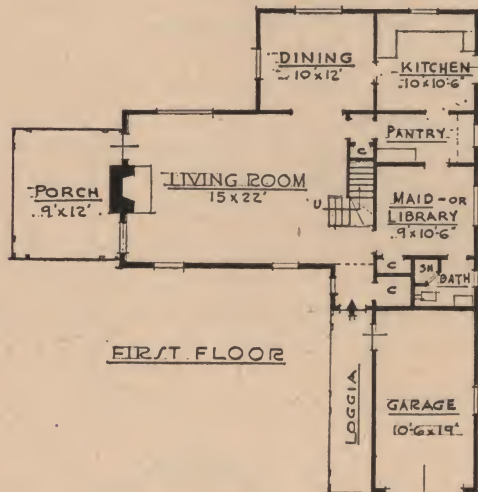
SECTION



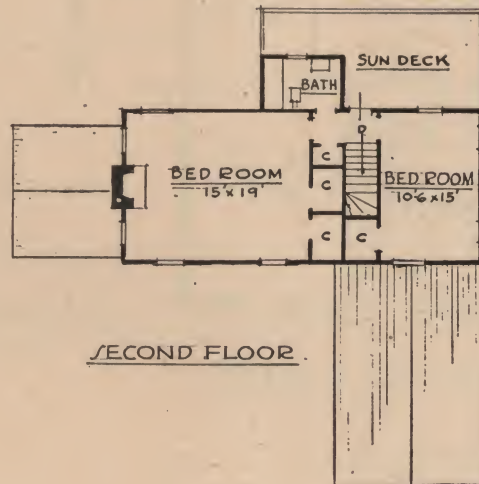
For cost of house see page 17



121 MAYFIELD—19,000 cubic feet including living room, library, dining room, 2 bedrooms, 2 bathrooms, sun deck, porch, loggia, pantry, kitchen, closets and garage.



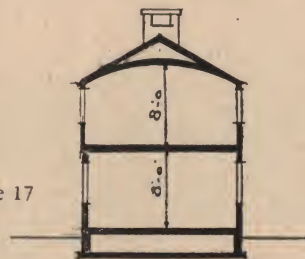
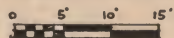
FIRST FLOOR



SECOND FLOOR



FRONT ELEVATION



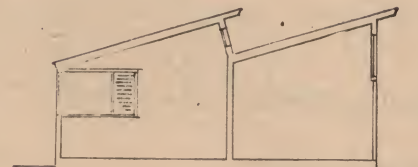
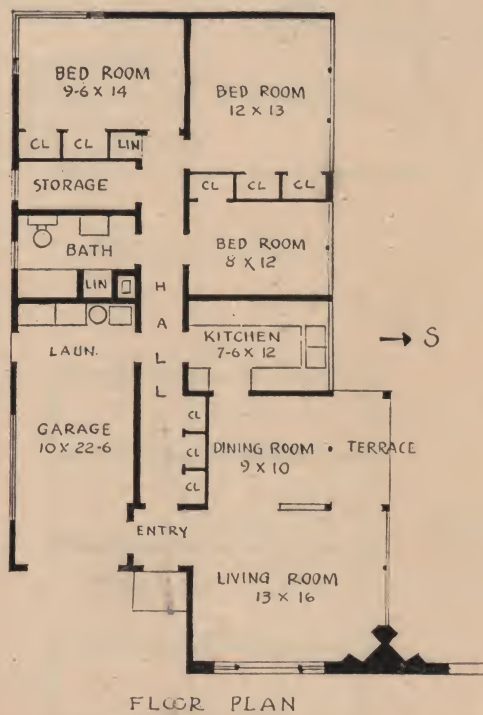
SECTION

For cost of house see page 17

Complete working plans (with specifications incorporated) \$15.00
Duplicate Set 5.00



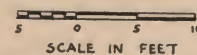
210 SUN HOUSE—18,000 cubic feet including living room, dining room, 3 bedrooms, bathroom, hall, kitchen, closets, laundry, storage room and garage.



SECTION THRU
BED ROOMS

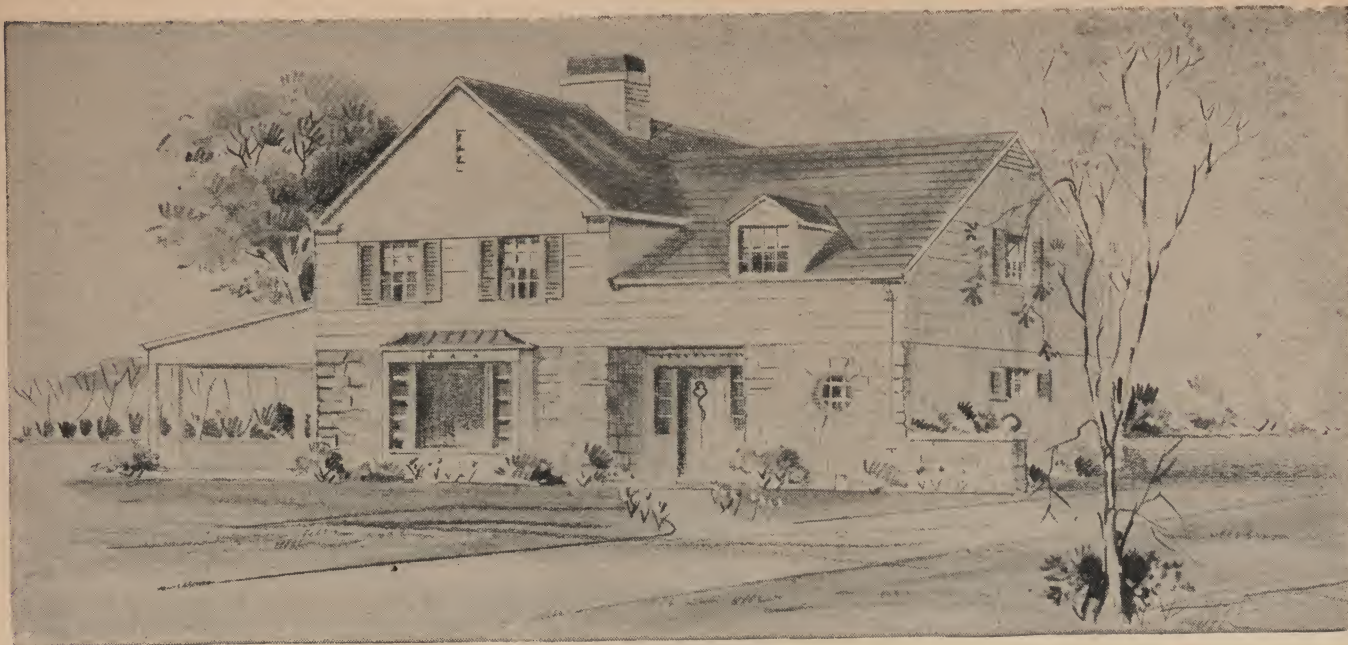


FRONT ELEVATION

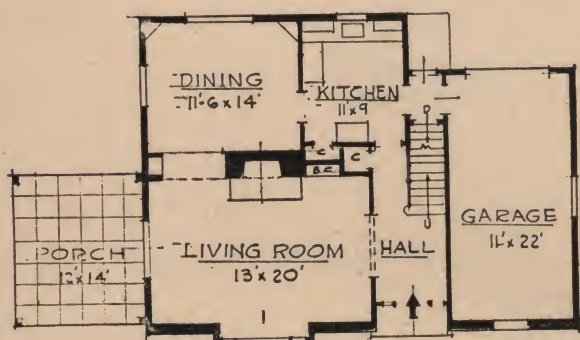


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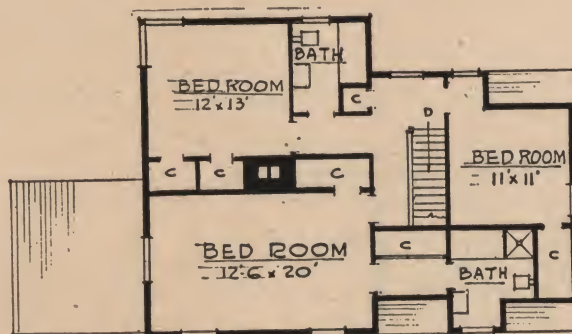
For cost of house see page 17



124 MARTHA—26,437 cubic feet including living room, dining room, 3 bedrooms, 2 bathrooms, dressing room, hall, porch, kitchen, closets, attic, cellar and garage.

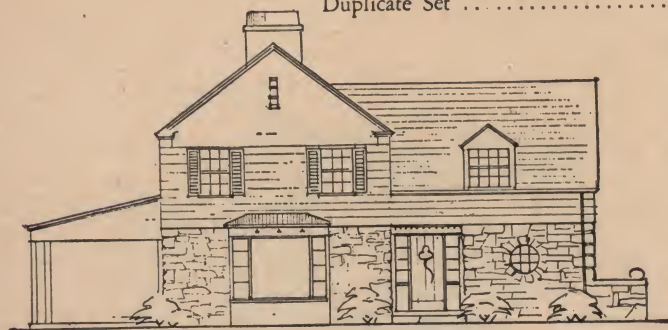


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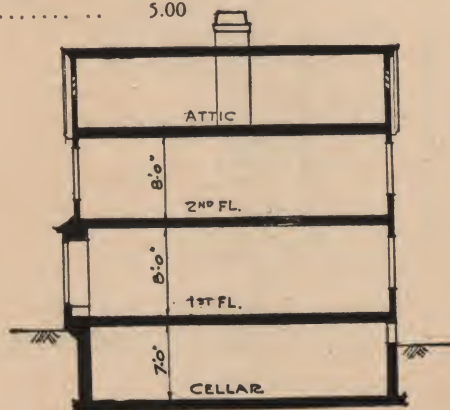


SECOND FLOOR

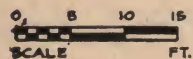
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FRONT ELEVATION



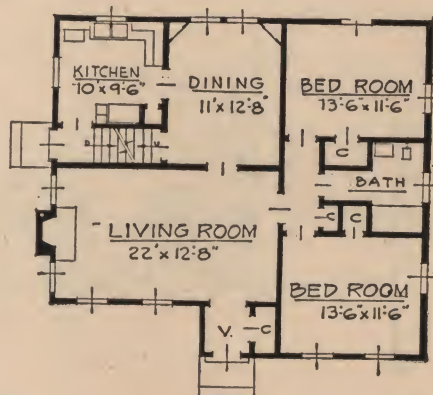
SECTION



For cost of house see page 17

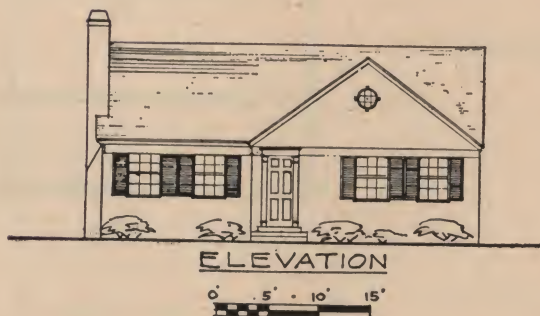


127 ADAM—24,600 cubic feet including living room, dining room, 2 bedrooms, bathroom, vestibule, kitchen, closets, attic and cellar.

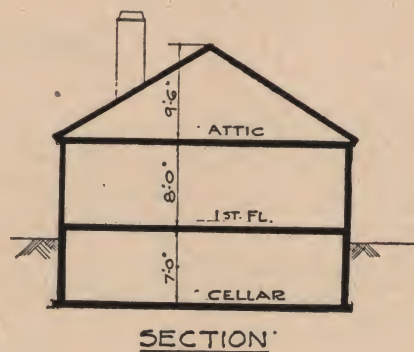


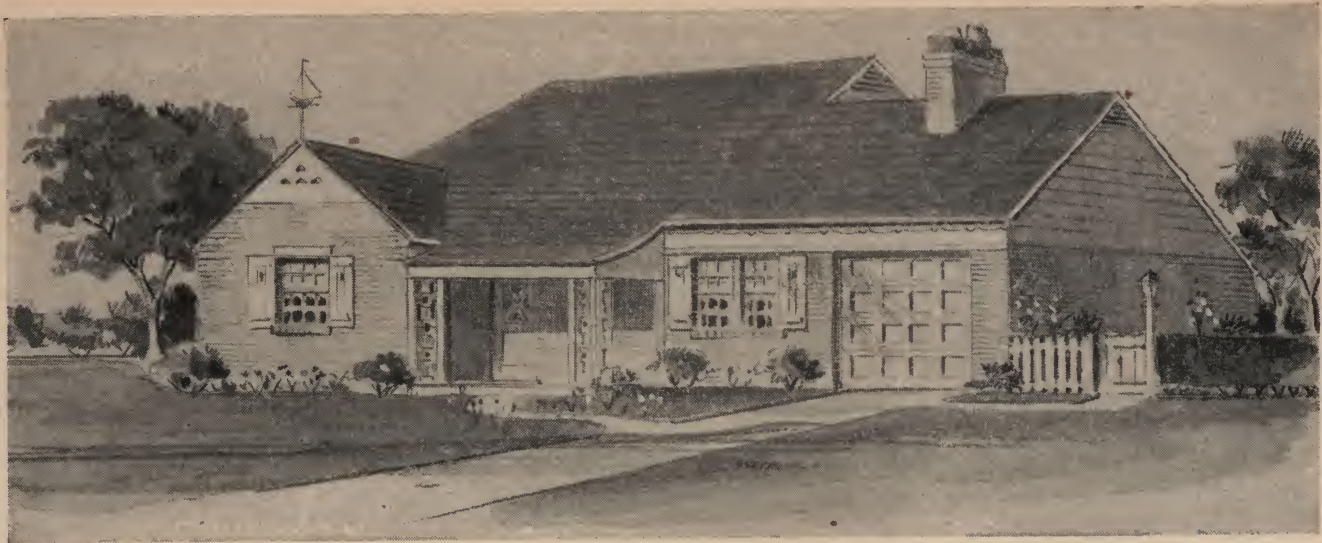
FIRST FLOOR

Complete working plans (with specifications incorporated) \$15.00
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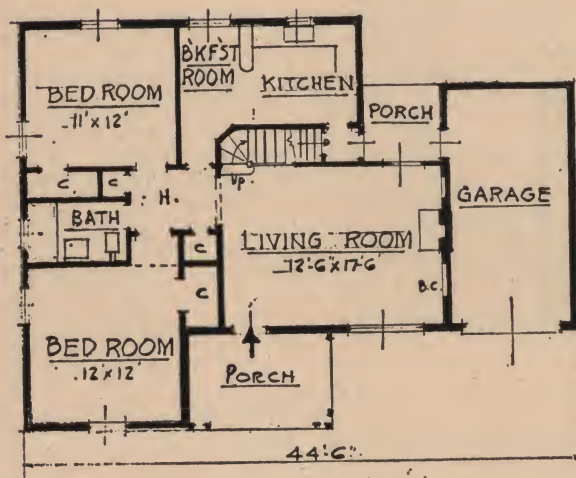


For cost of house see page 17

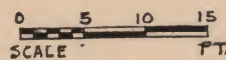




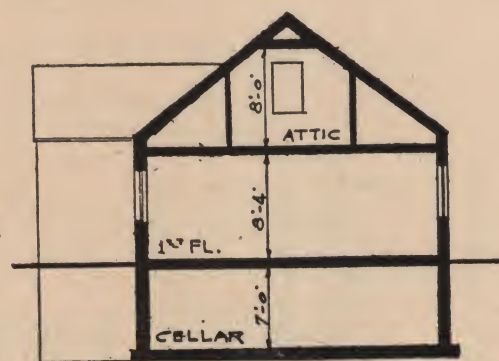
123 MILTON—21,450 cubic feet including living room, dining alcove, 2 bedrooms, bathroom, hall, 2 porches, kitchen, closets, attic, cellar and garage.



FIRST FLOOR.



ELEVATION.



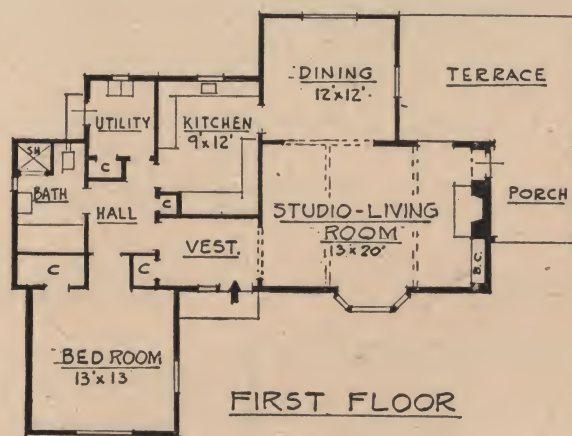
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Complete working plans (with specifications incorporated) \$15.00
Duplicate Set 5.00

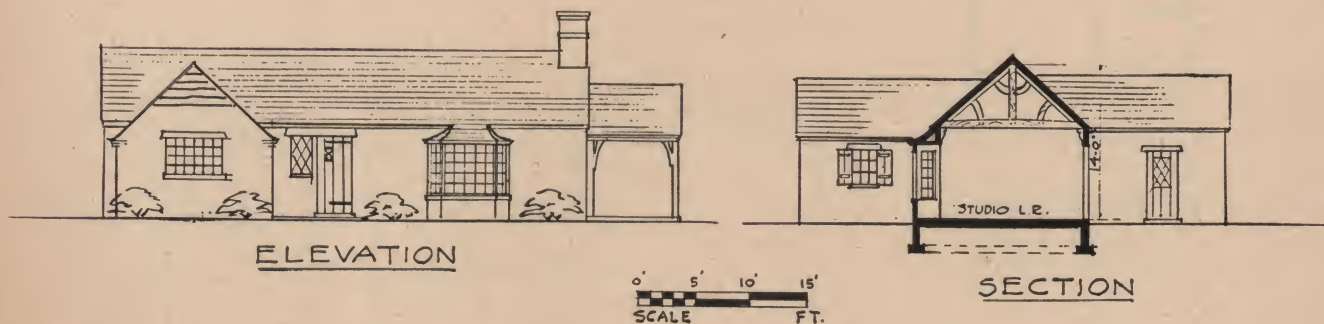
For cost of house see page 17



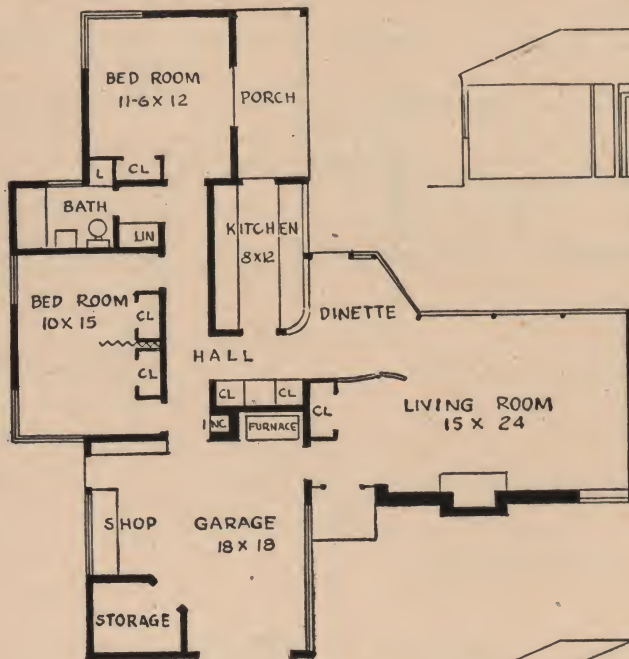
135 PENRIDGE—12,000 cubic feet including studio living room, dining room, bedroom, bathroom, hall, terrace, porch, utility room, kitchen and closets.



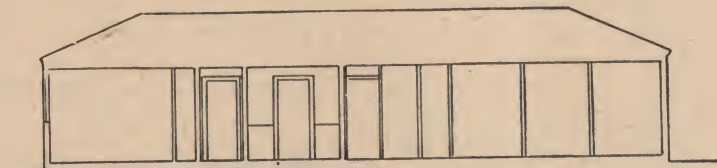
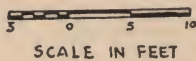
Complete working plans (with specifications incorporated) * \$15.00
Duplicate Set 5.00



For cost of house see page 17



FLOOR PLAN



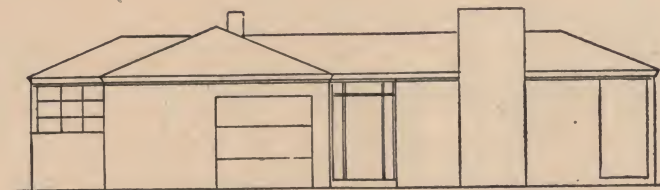
SECTION THRU BED ROOM,
KITCHEN, DINETTE AND
LIVING ROOM

Complete working plans

(with specifications incorporated) \$15.00

Duplicate Set 5.00

For cost of house see page 17



FRONT ELEVATION

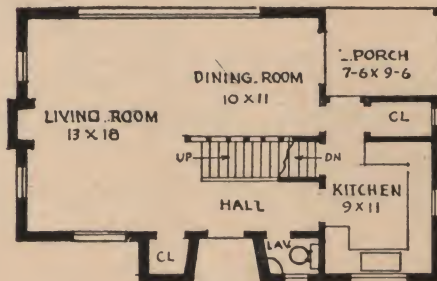
211 GARDEN HOUSE—18,500 cubic feet including living room, dinette,
2 bedrooms, bathroom, porch, kitchen, closets, storage room and garage.



205. MODERNARE—17,000 cubic feet including living room, dining room, 3 bedrooms, bathroom, lavatory, hall, porch, kitchen and closets.

Complete working plans (with specifications incorporated) \$15.00
Duplicate Set 5.00

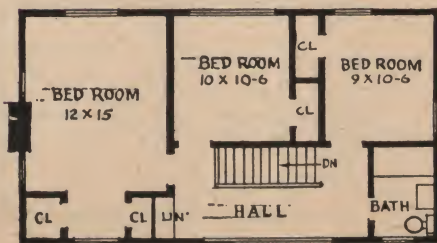
For cost of house see page 17



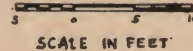
FIRST FLOOR PLAN



FRONT ELEVATION



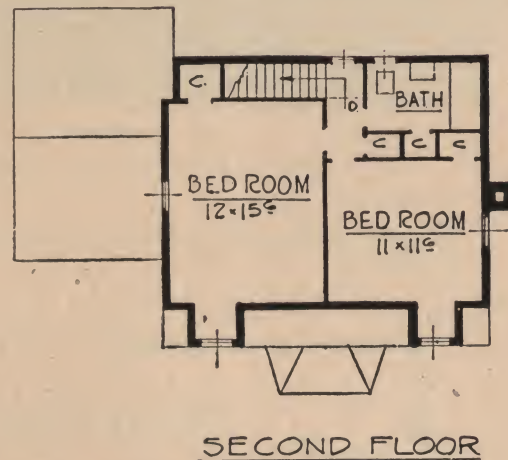
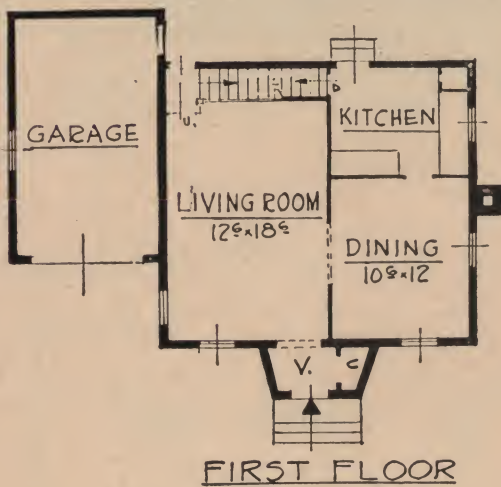
SECOND FLOOR PLAN



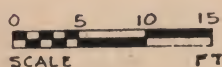
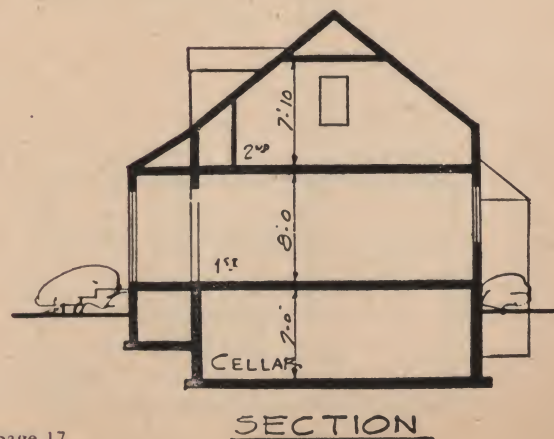
SECTION THRU LIVING ROOM AND BED ROOM



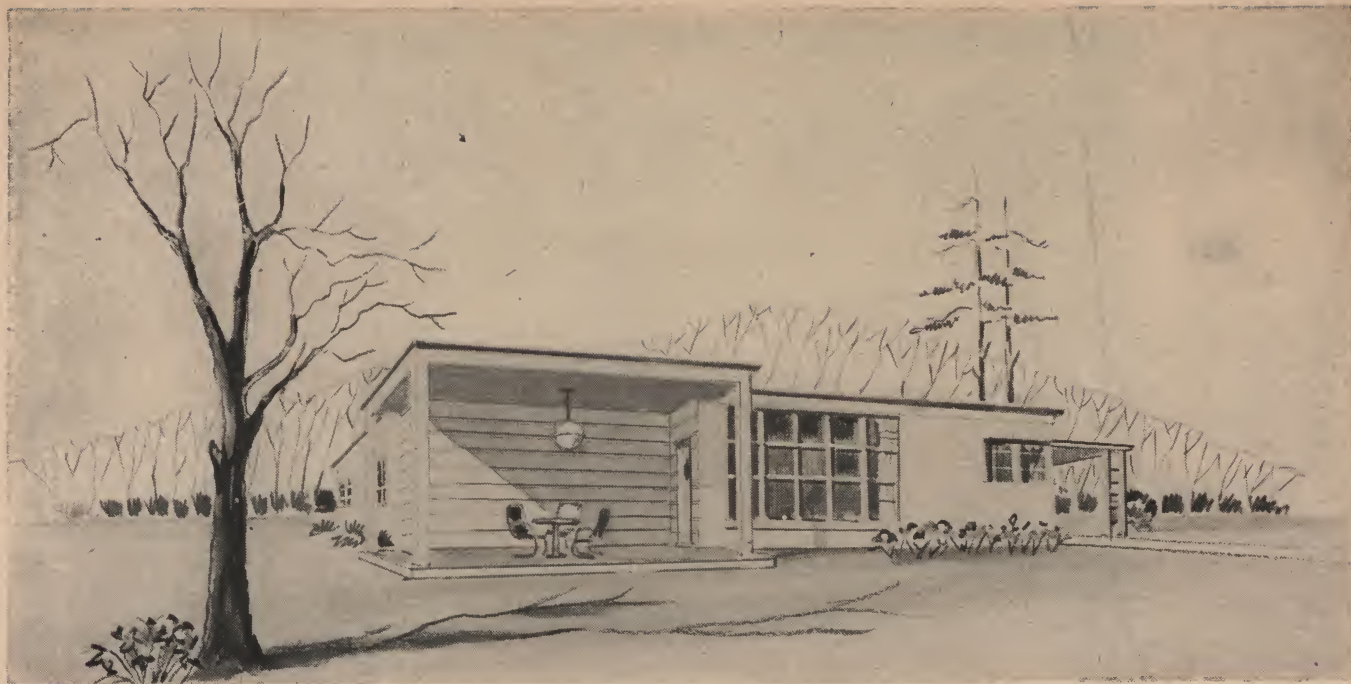
101 ESSEX—10,500 cubic feet including living room, dining room,
2 bedrooms, bathroom, vestibule, kitchen, closets and garage.



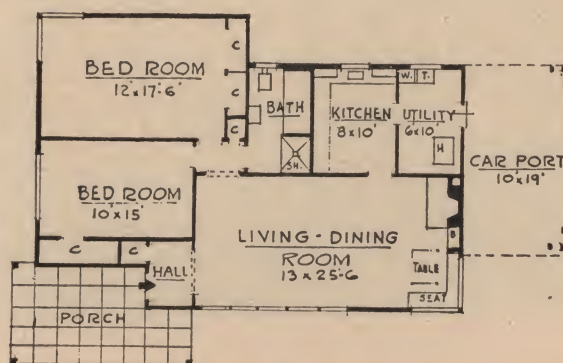
Complete working plans (with specifications incorporated) \$15.00
Duplicate Set 5.00



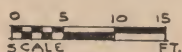
For cost of house see page 17



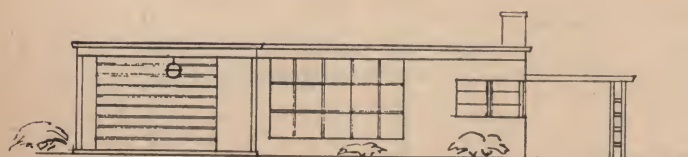
133 DALLAS—12,000 cubic feet including living-dining room combination, 2 bedrooms, bathroom, porch, utility room, kitchen, closets and car port.



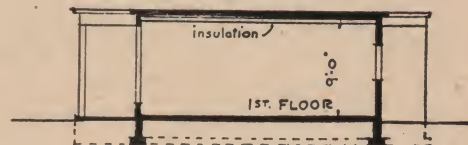
FIRST FLOOR



Complete working plans (with specifications incorporated) \$15.00
 Duplicate Set 5.00



ELEVATION

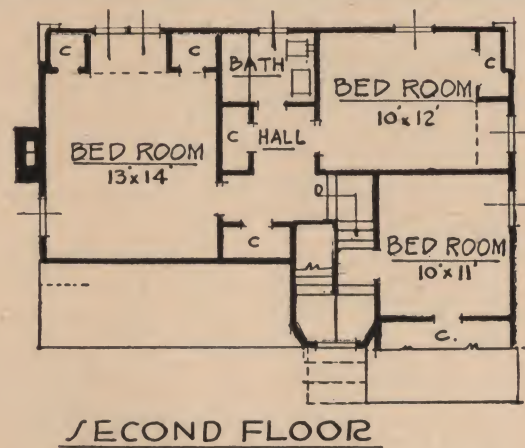
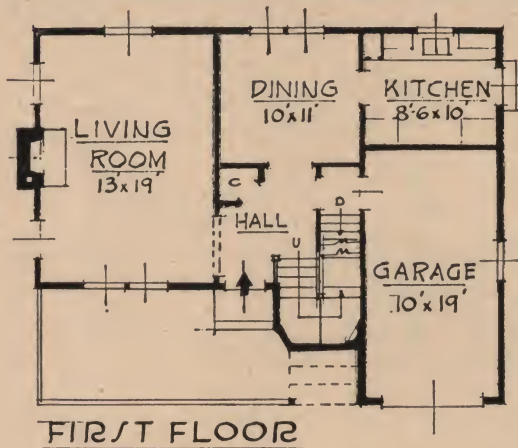


SECTION

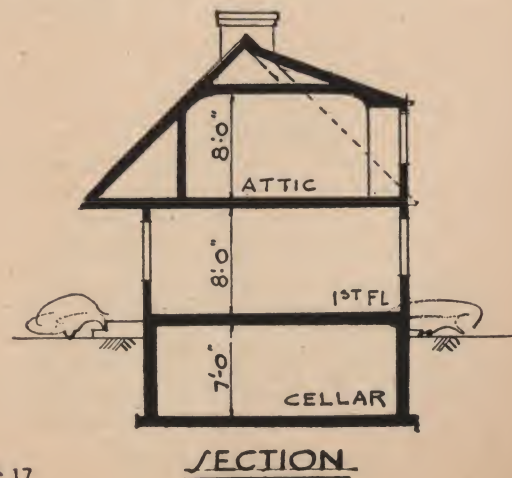
For cost of house see page 17



107 LYNN—16,800 cubic feet including living room, dining room, 3 bedrooms, bathroom, 2 halls, kitchen, closets and garage



Complete working plans (with specifications incorporated) \$15.00
 Duplicate Set 5.00



For cost of house see page 17



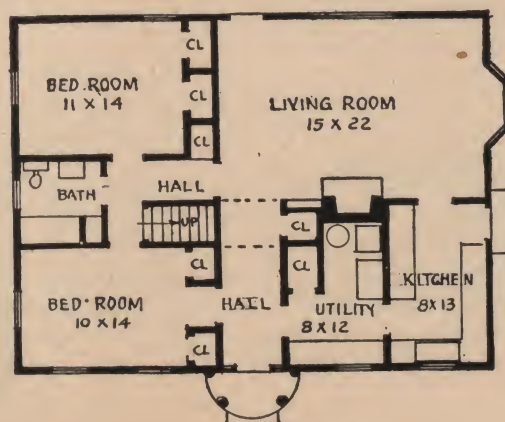
FRONT ELEVATION



SECTION THRU KITCHEN
AND LIVING ROOM



209 VIRGINIA—19,000 cubic feet including living room, 2 bedrooms, bathroom, hall, utility room, kitchen, and closets.

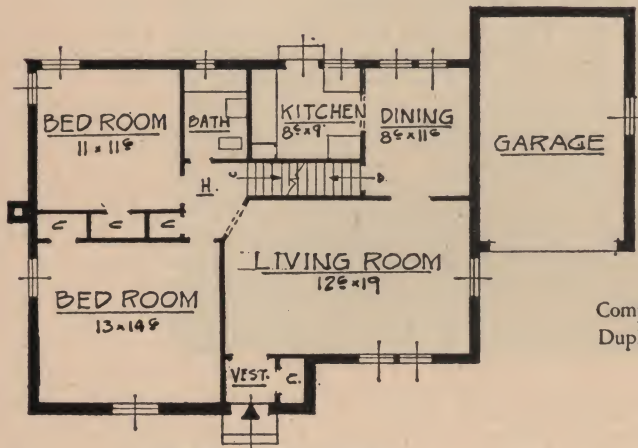


For cost of house see page 17

5 0 5 10
SCALE IN FEET

FIRST FLOOR PLAN

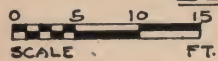
Complete working plans
(with specifications incorporated) \$15.00
Duplicate Set 5.00



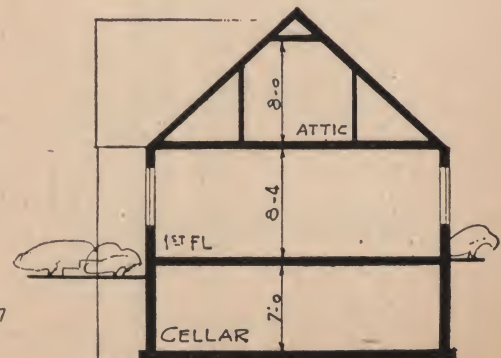
FIRST FLOOR



ELEVATION



For cost of house see page 17



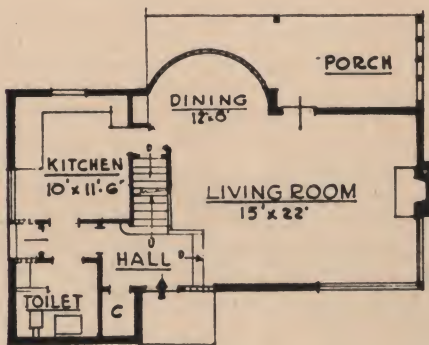
SECTION

109 MONROE—19,500 cubic feet including living room, dining room, 2 bedrooms, bathroom, kitchen, closets, attic, cellar and garage.

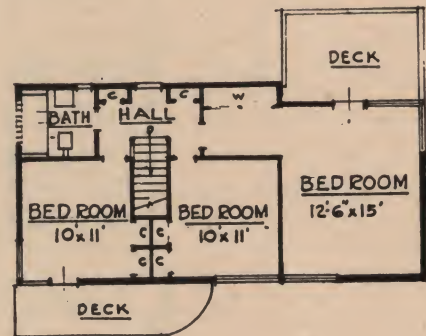
Complete working plans (with specifications incorporated) \$15.00
Duplicate Set 5.00



128 FIELDVIEW—17,800 cubic feet including living room, dining alcove, 3 bedrooms, bathroom, lavatory, 2 halls, 2 decks, porch, kitchen, closets and cellar.

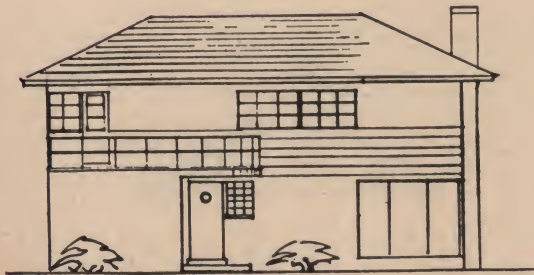


FIRST FLOOR

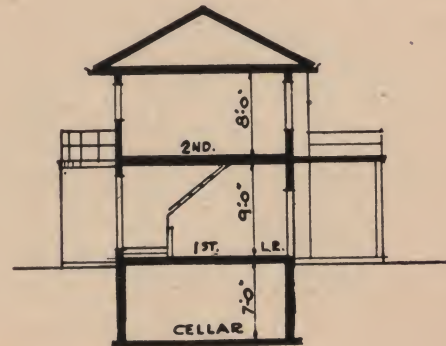
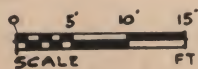


SECOND FLOOR

Complete working plans (with specifications incorporated) \$15.00
Duplicate Set 5.00



ELEVATION

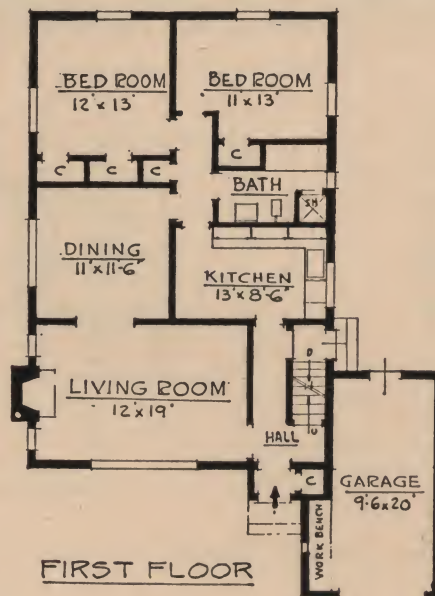


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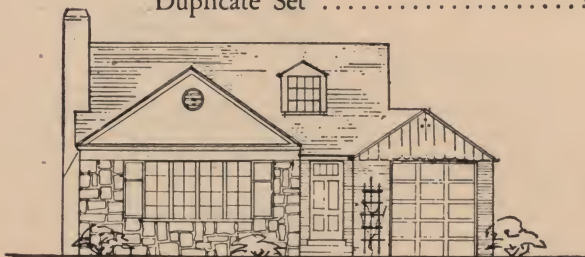
For cost of house see page 17



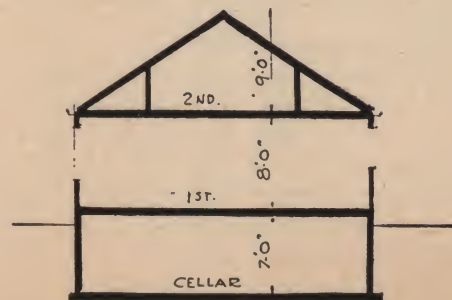
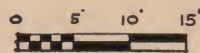
120 BRUNSWICK—30,100 cubic feet including living room, dining room, 2 bedrooms, bathroom, hall, kitchen, closets and cellar.



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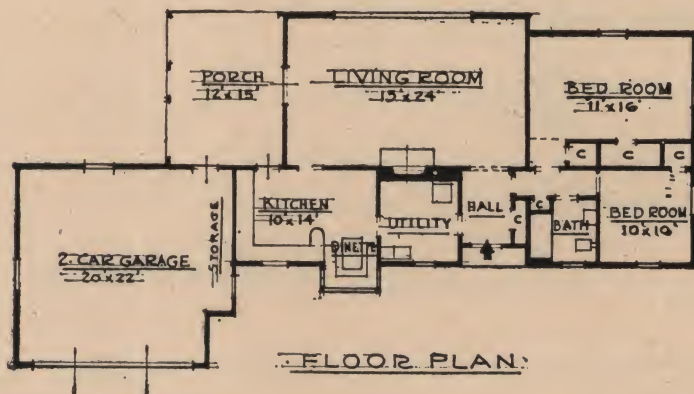
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For cost of house see page 17

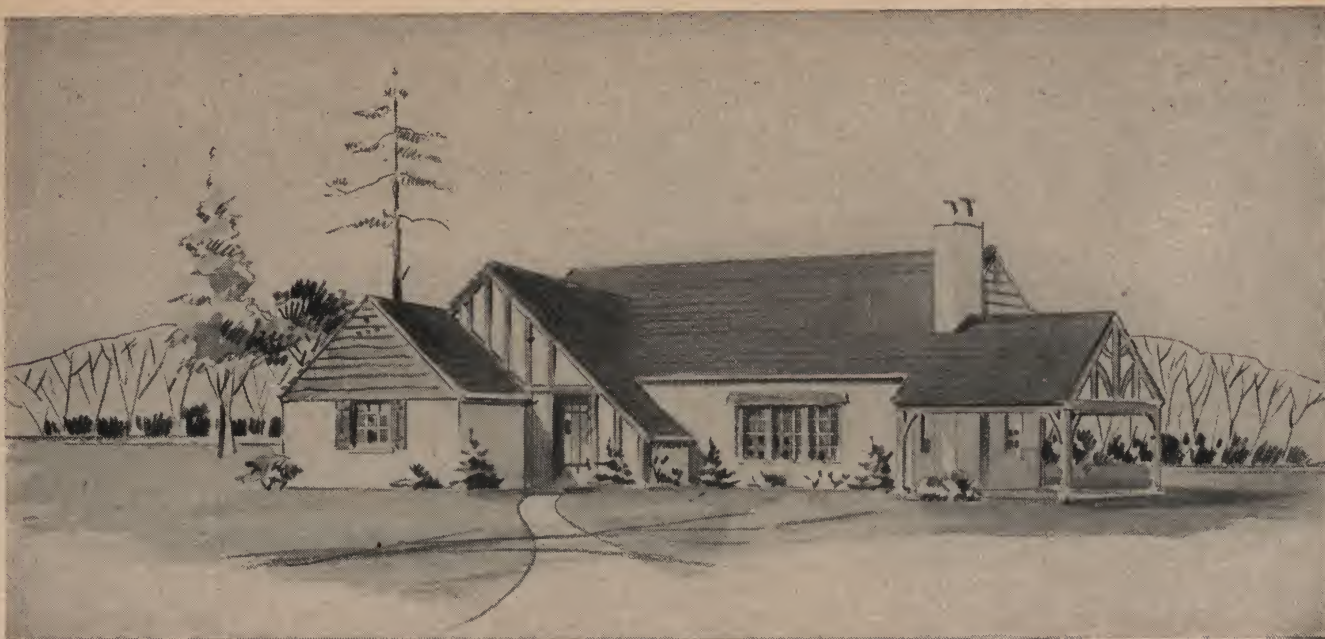


117 CONCORD—21,100 cubic feet including living room, dinette, 2 bedrooms, bathroom, hall, porch, utility room, kitchen, closets and car port.

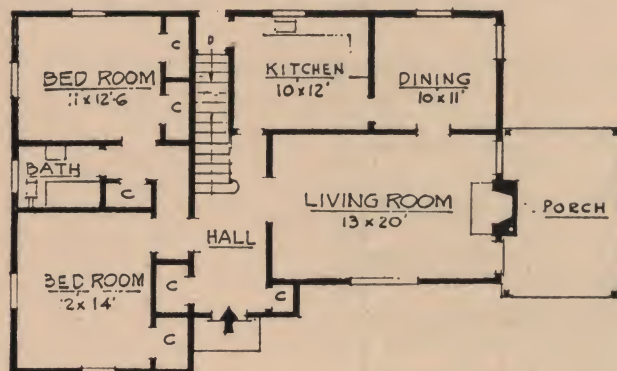
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For cost of house see page 17



131 TROY—28,700 cubic feet including living room, dining room, 2 bedrooms, bathroom, hall, porch, kitchen, closets and cellar.



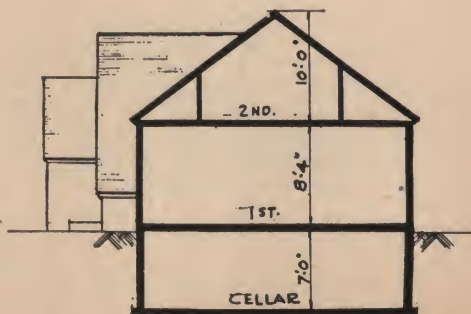
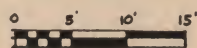
FIRST FLOOR

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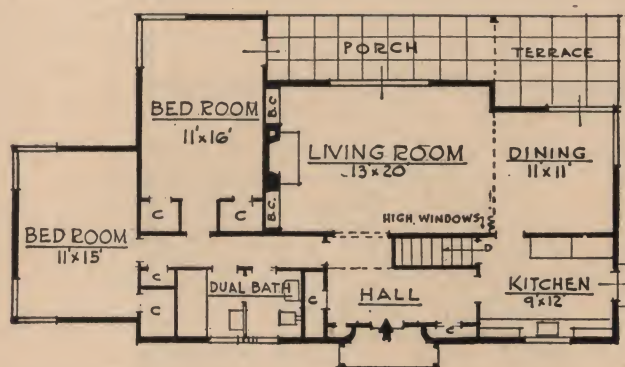
ELEVATION



SECTION.



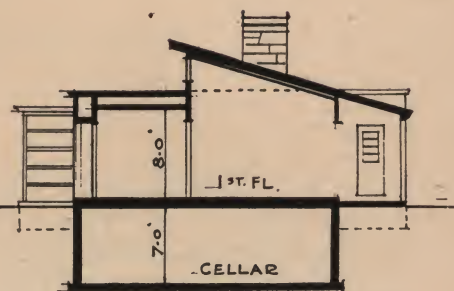
125 FREEPORT—21,000 cubic feet including living room, dining room, 2 bedrooms, dual bathroom, hall, terrace, porch, kitchen, closets and cellar.



FIRST FLOOR

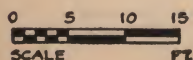


ELEVATION



SECTION

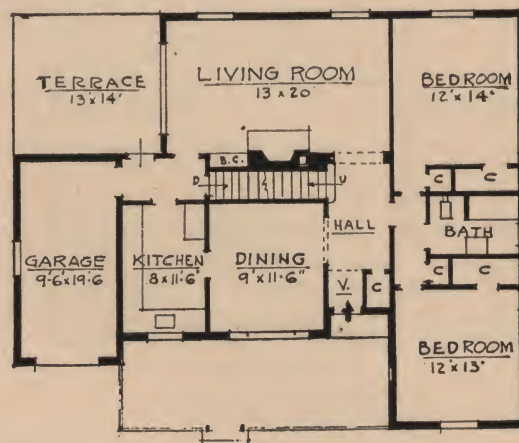
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For cost of house see page 17



138 CARLTON—35,000 cubic feet including living room, dining room
2 bedrooms, bathroom, hall, terrace, kitchen, closets, cellar and garage.

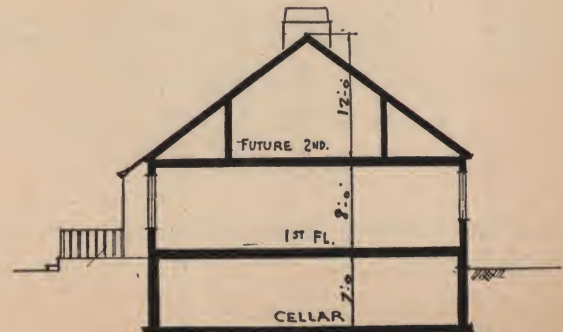
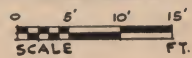


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• FRONT ELEVATION •



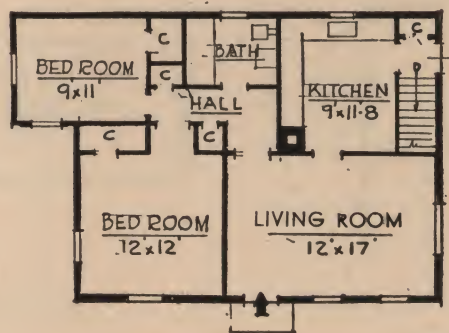
• SECTION •

For cost of house see page 17



129 DAYTON—11,700 cubic feet including living room, 2 bedrooms, bathroom, hall, kitchen, closets and cellar.

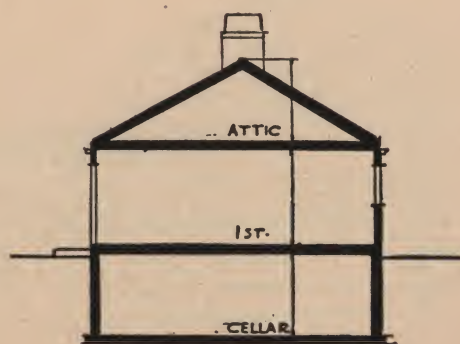
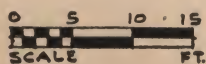
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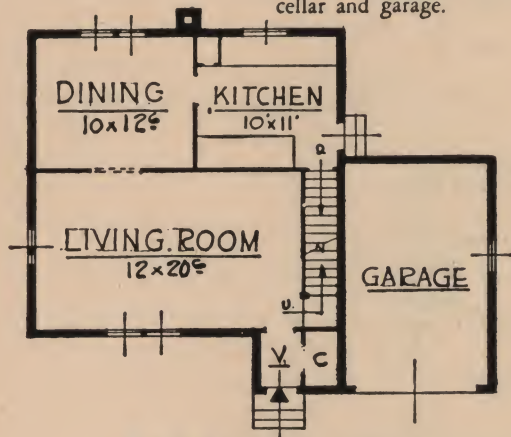


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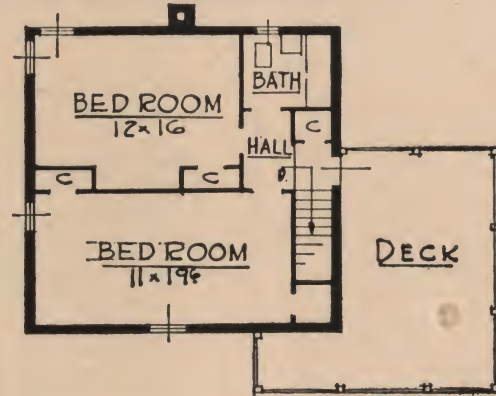
For cost of house see page 17



111 PLYMOUTH—15,500 cubic feet including living room, dining room, 2 bedrooms, bathroom, hall, vestibule, deck, kitchen, closets, cellar and garage.



FIRST FLOOR

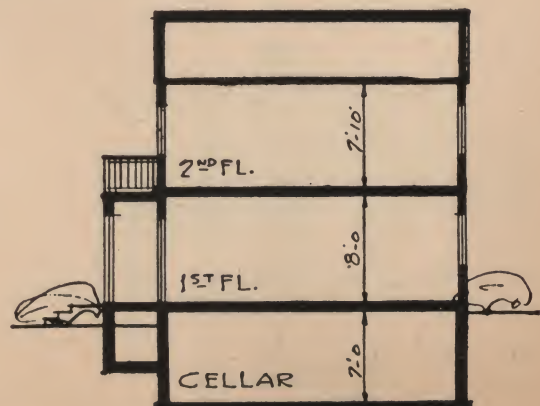


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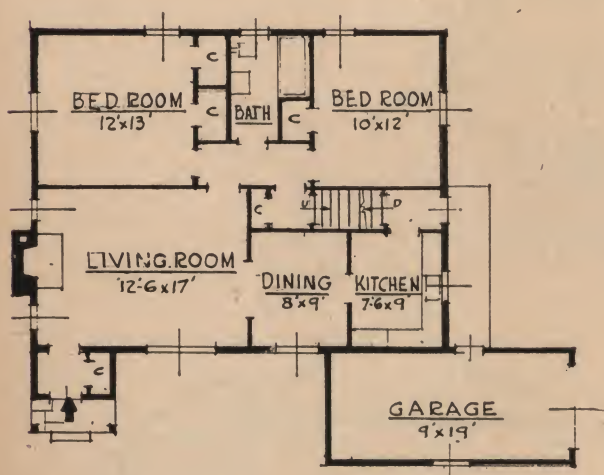
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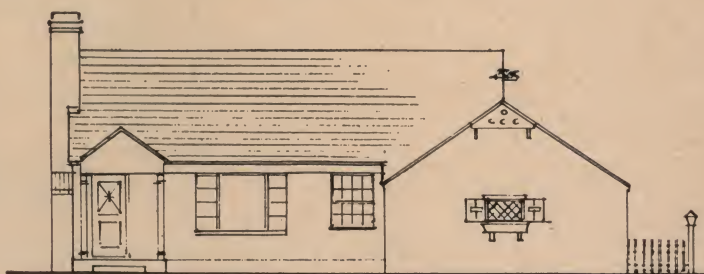
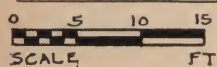
For cost of house see page 17



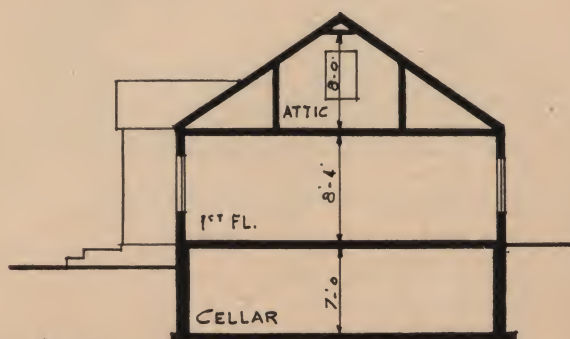
147 LOWELL—19,175 cubic feet including living room, dining room, 2 bedrooms, bathroom, kitchen, closets, attic, cellar and garage.



FIRST FLOOR.



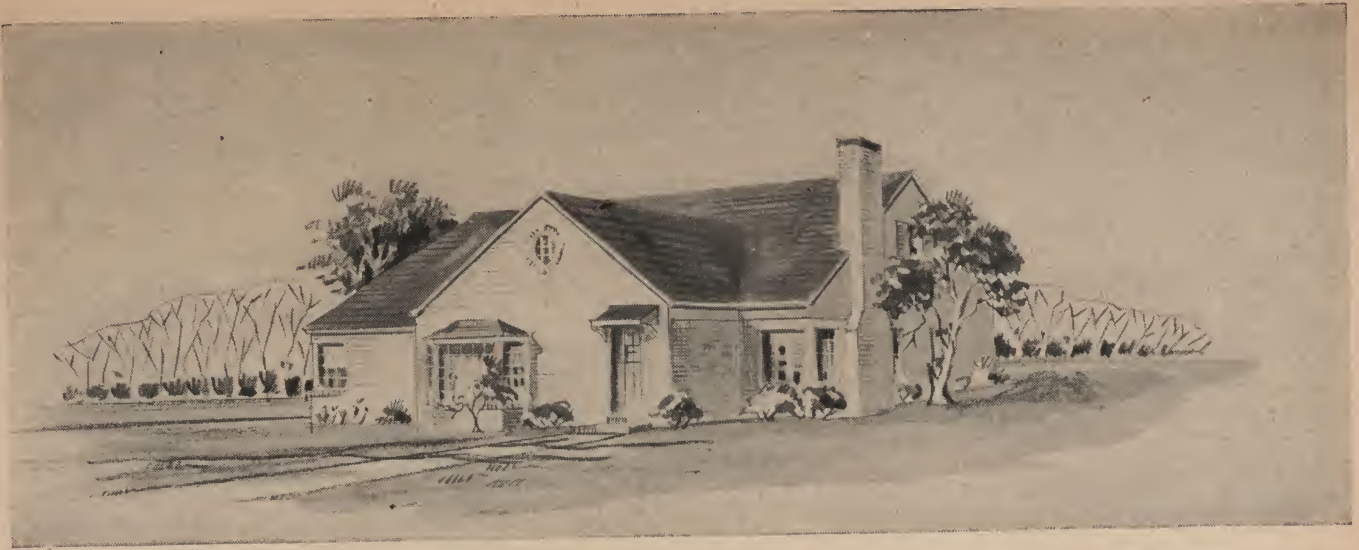
FRONT ELEVATION.



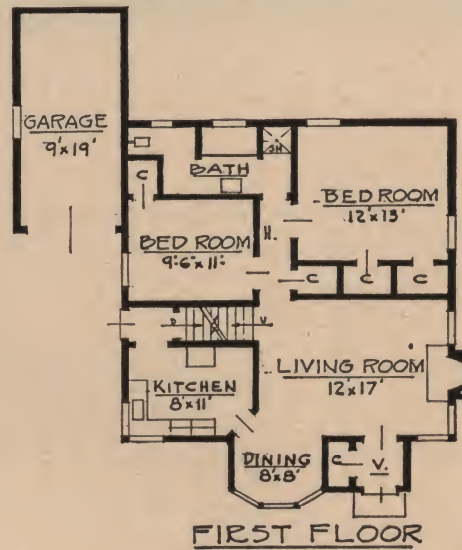
SECTION.

For cost of house see page 17

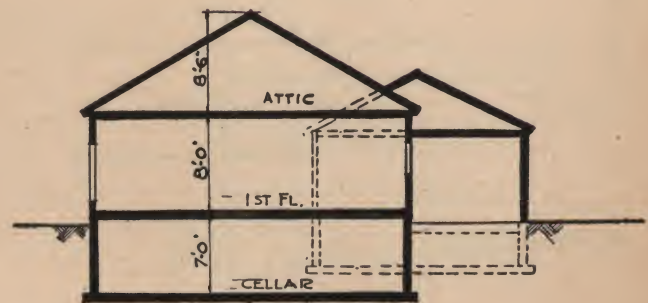
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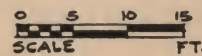
141 JACKSON—21,000 cubic feet including living room, dining alcove, 2 bedrooms, bathroom, vestibule, kitchen, closets, attic, cellar and garage.



ELEVATION

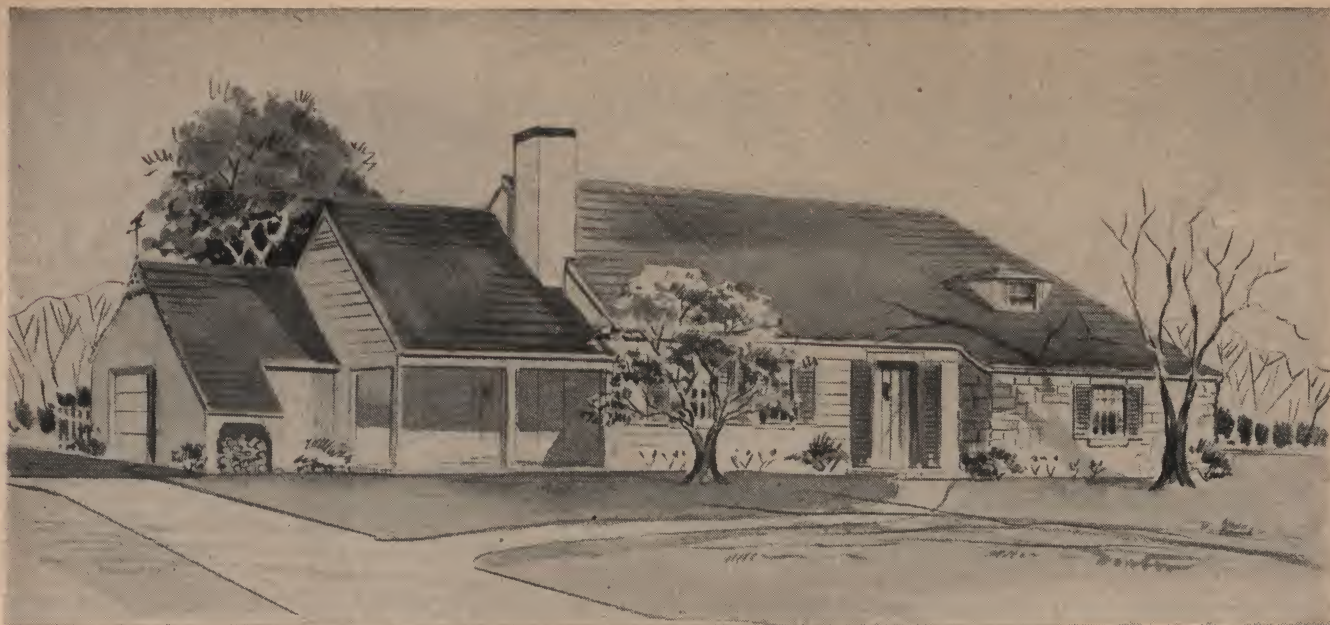


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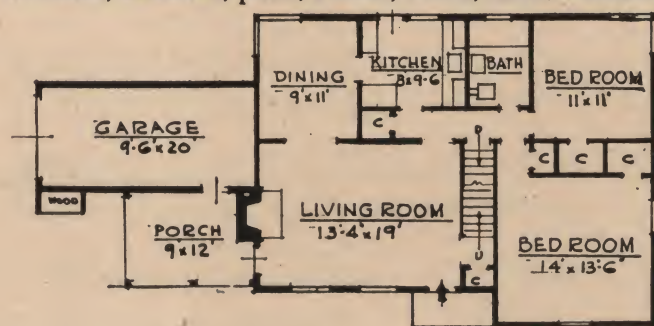


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For cost of house see page 17



137 DARWIN—23,000 cubic feet including living room, dining room, 2 bedrooms, bathroom, porch, kitchen, closets, cellar, woodshed and garage.

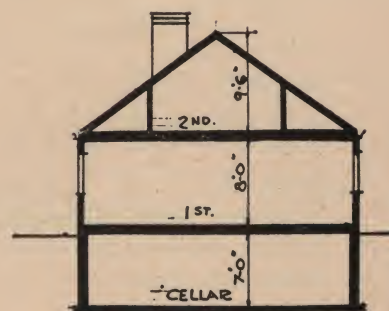
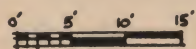


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ELEVATION



SECTION

For cost of house see page 17

HAVE YOU FORGOTTEN SOMETHING?

CHECK LIST

LOT:

Natural features, drainage
Soil: rock, fill
Transportation: R.R., bus, etc.
Protection: Fire, Police, street lighting, snow removal
Paved roads and streets, storm sewers
Nuisances: noise, smoke, etc.
Liens, assessments
Easements, right of way
Bldg. Dept. restrictions
Deed restrictions
Title search
Neighborhood: churches, schools, stores

INSURANCE & FINANCING:

Fire insurance, during and after construction
Workmen's liability
Bank mortgage, Bldg. & Loan, F.H.A., H.O.L.C.

UTILITIES:

Electricity
Gas: public, bottled
Water: public, well
Sewer: public, septic tank
Telephone
Garbage disposal: public incinerator

CONTRACTS:

Competitive bid
Cost plus a fixed fee
Owner-direct subcontract

CONSTRUCTION:

Excavation
Foundations
Exterior walls
Interior partitions
Roof
Flashing
Ceilings
Floors
Doors
Windows: casement, double-hung
Screens, windows and door
Storm sash, doors
Vents, cellar and attic
Fireplace, flues
Hardware
Linoleum
Flagstone

Lighting fixtures
Glass: block and mirrors
Gutters, leaders
Painting, paper
Weatherstripping
Laundry chute
Termite proofing
Fire stops
Insulation
Stairs
Closets, shelving
Cabinets

HEATING:

Furnace: oil, coal, gas
Hot water, steam, circ. air
Hot water tank
Hot water heater; separate, boiler-connected
Airconditioning, cooling
Oil tank, coal bin
Controls

ELECTRICAL:

Switches
Base receptacles: single, duplex
Power outlets
Cutout system
Main switch, fuse box

PLUMBING:

Bath
Shower
Toilet
Lavatories
Sinks, laundry trays
Grease traps
Dishwasher
Garbage disposal
Hose bibbs: lawn, garage

MISCELLANEOUS:

Orientation: view, sunlight
Refrigerator
Freezing unit
Washing machine
Vacuum cleaner
Built-in furniture
Garage doors
Cedar closet
Kitchen range
Medicine cabinet

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